



**City of Apopka
Planning Commission
Special Meeting Agenda
July 28, 2015**

5:01 PM @ CITY COUNCIL CHAMBERS

I. CALL TO ORDER

II. OPENING AND INVOCATION

III. APPROVAL OF MINUTES:

IV. PUBLIC HEARING:

V. SITE PLANS:

1. FINAL DEVELOPMENT PLAN – Elro Properties, LLC – Owner/applicant Elro Properties, LLC; Engineer Ali Tehrani, P.E., property located at 511 Marshall Lake Road (north of Marshall Lake Road and west of Bradshaw Road). (Parcel ID No.: 09-21-28-0000-00-011)
2. MASS GRADING PLAN - Golden Gem Estates, Phase 1A – owner/applicant Cantero Holdings, LLC, c/o Jose Cantero; engineer is GL Summit, c/o Geoffrey Summit, P.E., for the property generally located south of Kelly Park Road, north of the Ponkan Road and east of Golden Gem Road. (Parcel ID Nos.: 24-20-27-0000-00-097, 24-20-27-0000-00-98, 24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102, 24-20-27-0000-00-100-103, 24-20-27-0000-00-104, 24-20-27-0000-00-105)
3. PRELIMINARY DEVELOPMENT PLAN - Golden Gem Estates, Phase 1B – owner/applicant Cantero Holdings, LLC, c/o Jose Cantero; engineer is GL Summit, c/o Geoffrey Summit, P.E., for the property generally located south of Kelly Park Road, north of the Ponkan Road and east of Golden Gem Road. (Parcel ID Nos.: 24-20-27-0000-00-097, 24-20-27-0000-00-98, 24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102, 24-20-27-0000-00-100-103, 24-20-27-0000-00-104, 24-20-27-0000-00-105)

- 4. FINAL DEVELOPMENT PLAN – Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E., property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No.: 17-21-28-0000-00-029)

VI. OLD BUSINESS:

VII. NEW BUSINESS:

VIII. ADJOURNMENT:

All interested parties may appear and be heard with respect to this agenda. Please be advised that, under state law, if you decide to appeal any decision made by the City Council with respect to any matter considered at this meeting or hearing, you will need a record of the proceedings, and that, for such purpose, you may need to ensure that a verbatim record of the proceedings is made, which record includes a testimony and evidence upon which the appeal is to be based. The City of Apopka does not provide a verbatim record.

In accordance with the American with Disabilities Act (ADA), persons with disabilities needing a special accommodation to participate in any of these proceedings should contact the City Clerk's Office at 120 East Main Street, Apopka, FL 32703, telephone (407) 703-1704, no less than 48 hours prior to the proceeding.

Backup material for agenda item:

1. FINAL DEVELOPMENT PLAN – Elro Properties, LLC – Owner/applicant Elro Properties, LLC; Engineer Ali Tehrani, P.E., property located at 511 Marshall Lake Road (north of Marshall Lake Road and west of Bradshaw Road). (Parcel ID No.: 09-21-28-0000-00-011)



CITY OF APOPKA PLANNING COMMISSION

PUBLIC HEARING
 ANNEXATION
 PLAT APPROVAL
 OTHER: Final Development Plan

MEETING OF: July 28, 2015
FROM: Community Development
EXHIBITS: Vicinity/Aerial Map
Site/Landscape Plans
Building Elevations

PROJECT: ELRO PROPERTIES, LLC.

Request: RECOMMEND APPROVAL OF THE FINAL DEVELOPMENT PLAN FOR ELRO PROPERTIES, LLC.

SUMMARY:

OWNER/APPLICAN: Elro Properties, LLC

ENGINEER: Ali Tehrani, P.E.

LOCATION: 511 Marshall Lake Road
(North of Marshall Lake Road and west of Bradshaw Road)

PARCEL ID #: 09-21-28-0000-00-011

LAND USE: Industrial

ZONING: I-1

EXISTING USE: Vacant Land

PROPOSED USE: Industrial Warehouse (18,000 S.F.) w/ Office Complex (11,340 S.F.)

TRACT SIZE: 6.46 +/- acres

OVERALL SITE: 26.64 +/- acres

BUILDING SIZE: 29,340 sq. ft.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Commercial	C-3	Warehouse Facility\Railroad track
East (City)	Commercial	C-3	Vacant Property
South (City)	Industrial	I-1	Vacant Property
West (City)	Industrial	I-1	Vacant Property

ADDITIONAL COMMENTS: The Elro Properties, LLC - Final Development Plan proposes a 29,340 square foot industrial warehouse and office complex. Prior to commencement of any clearing or grading of the subject property, a parcel split must be submitted to the Orange County Property Appraiser’s office.

PARKING AND ACCESS: A total of 82 parking spaces are provided, of which four are reserved as a handicapped parking space. Access to the site is provided by a driveway cut along Bradshaw Road and Marshall Lake Road.

EXTERIOR ELEVATIONS: Design of the building exterior meets the intent of the City’s Development Design Guidelines. Height of the building is presently 35 feet. The property owner has submitted a zoning application to allow maximum building height not to exceed 50 feet.

STORMWATER: Stormwater run-off and drainage will be accommodated by an off-site retention pond through a cross access easement agreement. The off-site stormwater management system will be designed according to standards set forth in the Land Development Code. All cross-access easement documents must be recorded prior to issuance of a certificate of occupancy.

BUFFER/TREE PROGRAM: A twenty-five foot landscape buffer is provided along Bradshaw Road and Marshall Lake Road. The applicant has provided a detailed landscape and irrigation plan for the property. The planting materials and irrigation system design are consistent with the water-efficient landscape standards set forth in Ordinance No. 2069.

Total inches on-site:	176
Total number of specimen trees:	0
Total inches removed	132
Total inches retained:	44
Total inches required:	132
Total inches replaced:	171
Total inches post development:	215

PUBLIC HEARING SCHEDULE:

July 28, 2015 - Planning Commission (5:01 pm)

August 5, 2015 - City Council (1:30 pm)

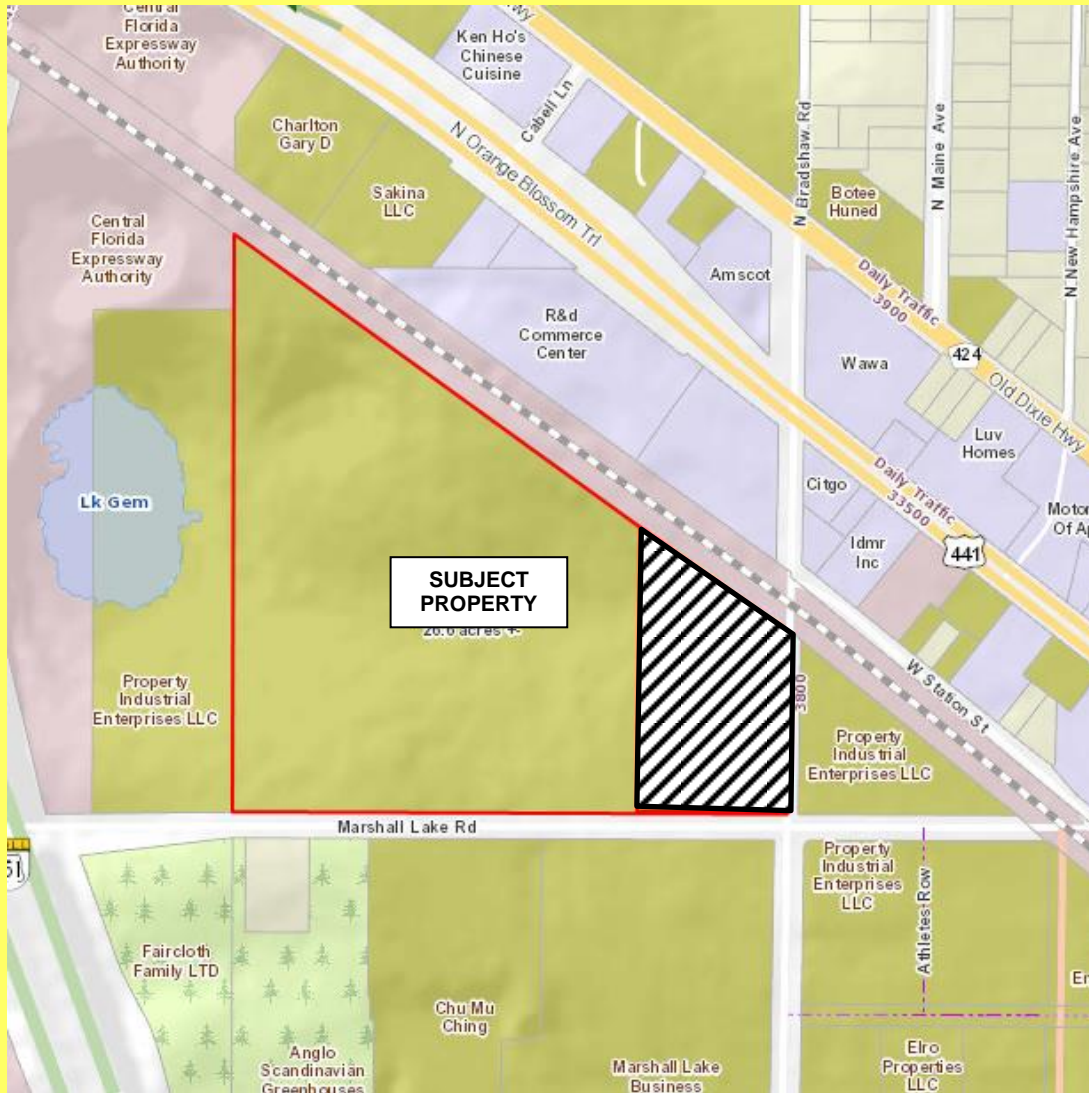
RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Elro Properties, LLC – Final Development Plan, subject to the findings of this staff report.

Recommend approval of the Elro Properties, LLC – Final Development Plan, subject to the findings of this staff report.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

Application: Final Development Plan
Owner: Elro Properties, LLC
Engineer: Ali Tehrani, P.E.
Parcel I.D. No: 09-21-28-0000-00-011
Location: 511 Marshall Lake
Total Acres: 6.46 +/- Acres



VICINITY MAP

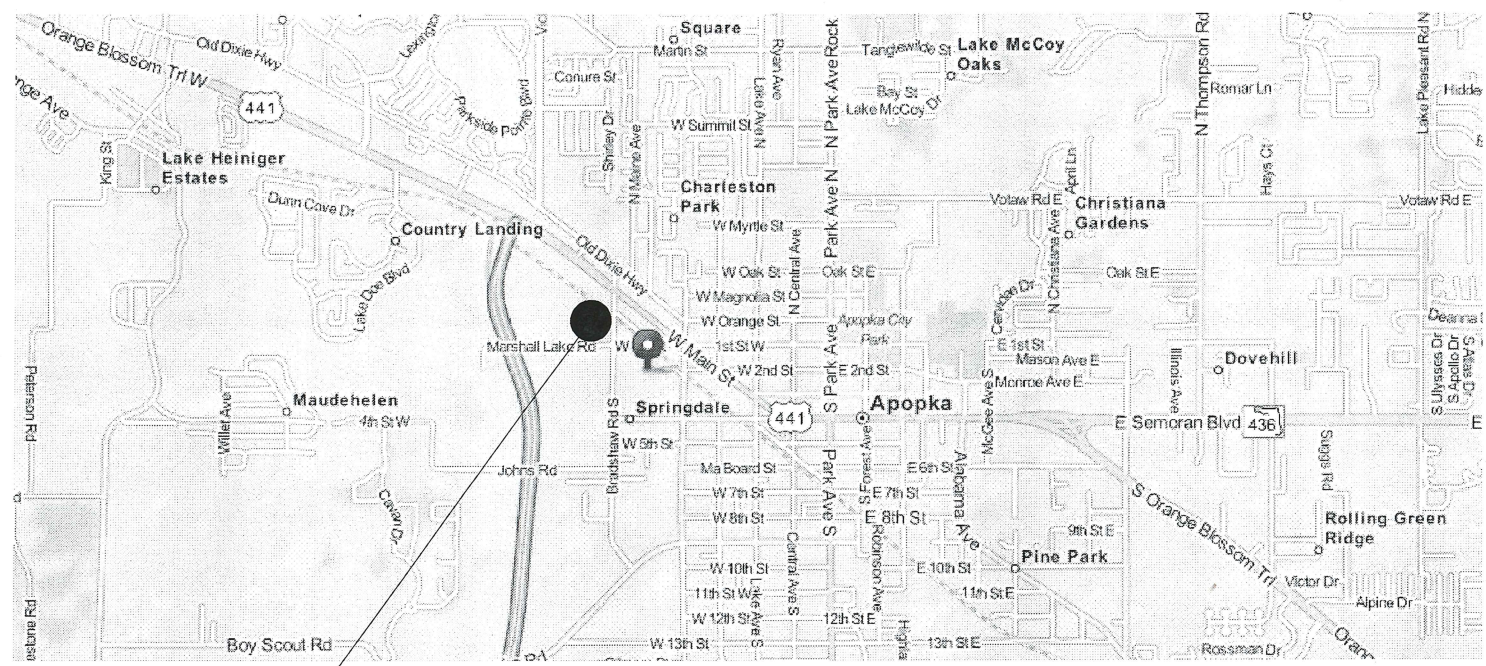
Application: Final Development Plan
Owner: Elro Properties, LLC
Engineer: Ali Tehrani, P.E.
Parcel I.D. No: 09-21-28-0000-00-011
Location: 511 Marshall Lake Road
Total Acres: 6.46 +/- Acres



AERIAL MAP



SITE PLAN INDEX OF DRAWINGS	
DRAWING NO.	DRAWING DESCRIPTION
1	COVER
2	LEGEND AND SITE DATA
3	GENERAL NOTES
4	BOUNDARY SURVEY
5	SITE PLAN
6	UTILITY PLAN
7	GRADING PLAN
8	STORMWATER PLAN
8-a	STORMWATER MASTER PLAN
9	POLLUTION PREVENTION PLAN
10	UTILITY DETAILS
11	UTILITY DETAILS
12	CONSTRUCTION DETAILS
13	LANDSCAPE PLAN



SITE LOCATION

VICINITY MAP
NTS

A FINAL DEVELOPMENT PLAN FOR:

ELRO PROPERTIES, LLC.

PARCEL ID: 09-21-28-0000-00-011

1

***CITY OF APOPKA
JUNE, 2015***

RECEIVED
JUL 15 2015
By _____

Plan Notes

COVER

No.	Revision/Issue	Date
1	CITY COMMENTS	7/15

ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO. 48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

PROJECT NAME
ELRO PROPERTIES, LLC.
516 Cooper Commerce Dr., Suite 200
Apopka, FL 32703

DWG Sheet 1-3	SHEET
Date June 22, 2015	1
Scale As Shown	
1 of 13	

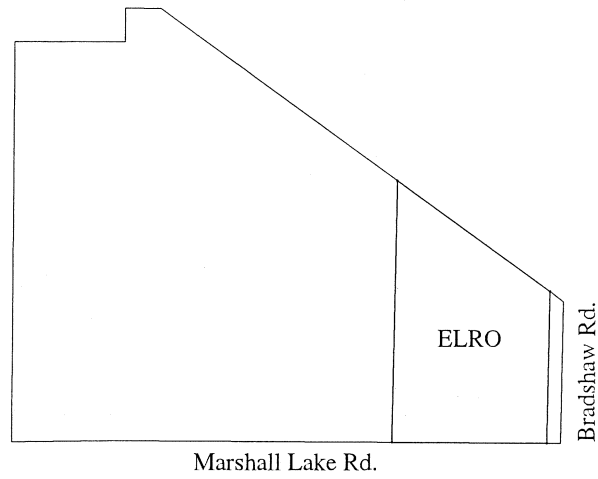
PROPERTY DESCRIPTION:

ELRO PROPERTIES, LLC.

THE ABOVE PARCEL BEING DESCRIBED AS:

BEGIN AT THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SAID POINT TO BE THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 44 MINUTES 37.94 SECONDS EAST, A DISTANCE OF 803.302 FEET ALONG THE SOUTHERN LINE OF THE SAID SECTION; THENCE SOUTH 89 DEGREES 44 MINUTES 37.94 SECONDS EAST, A DISTANCE OF 459.999 FEET ALONG THE SAME LINE; THENCE NORTH 00 DEGREES 53 MINUTES 53.67 EAST, A DISTANCE OF 449.685 FEET ALONG THE LINE PERPENDICULAR TO THE SAID SOUTHERN LINE; THENCE NORTH 54 DEGREES 19 MINUTES 17.65 SECONDS WEST, A DISTANCE OF 560.019 FEET; THENCE SOUTH 00 DEGREES 53 MINUTES 53.67 SECONDS WEST, A DISTANCE OF 774.292 FEET ALONG THE LINE PERPENDICULAR TO THE SAID SOUTHERN LINE.

THE PARCEL CONTAINS 281,496.17 (SF) OR 6.462 (AC), MORE OR LESS.



POINT OF BEGINNING
SW CORNER OF NW 1/4
OF SECTION 09-21-31
SET 5/8" IRON ROD & CAP "LB 7744"
FOUND 4"x4" CM 1.57'E, 0.18"S
FOUND 4"x5" CM 1.53'E, 0.29"N

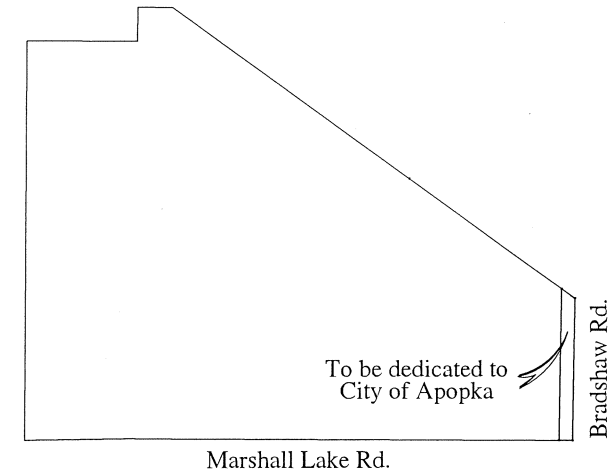
PROPERTY DESCRIPTION:

PUBLIC "RIGHT-OF-WAY"
(DEDICATED TO CITY OF APOPKA)

THE ABOVE PROPERTY BEING DESCRIBED AS:

BEGIN AT THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 9, TOWNSHIP 21 SOUTH, RANGE 28 EAST AS RECORDED IN THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, SAID POINT TO BE THE POINT OF BEGINNING; THENCE SOUTH 89 DEGREES 44 MINUTES 37.94 SECONDS EAST, A DISTANCE OF 1,263.301 FEET ALONG THE SOUTHERN LINE OF THE SAID SECTION; THENCE SOUTH 89 DEGREES 44 MINUTES 37.94 SECONDS EAST, A DISTANCE OF 40.115 FEET ALONG THE SAME LINE; THENCE NORTH 00 DEGREES 53 MINUTES 53.67 EAST, A DISTANCE OF 421.377 FEET ALONG THE LINE PERPENDICULAR TO THE SAID SOUTHERN LINE; THENCE NORTH 54 DEGREES 19 MINUTES 17.65 SECONDS WEST, A DISTANCE OF 48.837 FEET; THENCE SOUTH 00 DEGREES 53 MINUTES 53.67 SECONDS WEST, A DISTANCE OF 449.685 FEET ALONG THE LINE PERPENDICULAR TO THE SAID SOUTHERN LINE.

THE PROPERTY CONTAINS 17,470.14 (SF) OR 0.401 (AC), MORE OR LESS.



POINT OF BEGINNING
SW CORNER OF NW 1/4
OF SECTION 09-21-31
SET 5/8" IRON ROD & CAP "LB 7744"
FOUND 4"x4" CM 1.57'E, 0.18"S
FOUND 4"x5" CM 1.53'E, 0.29"N

Plan Notes

BOUNDARY SURVEY

No.	Revision/Issue	Date

ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO. 48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

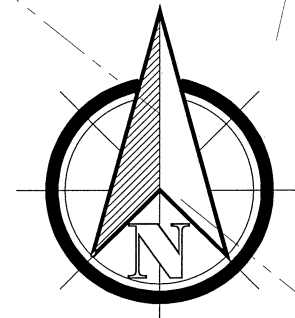
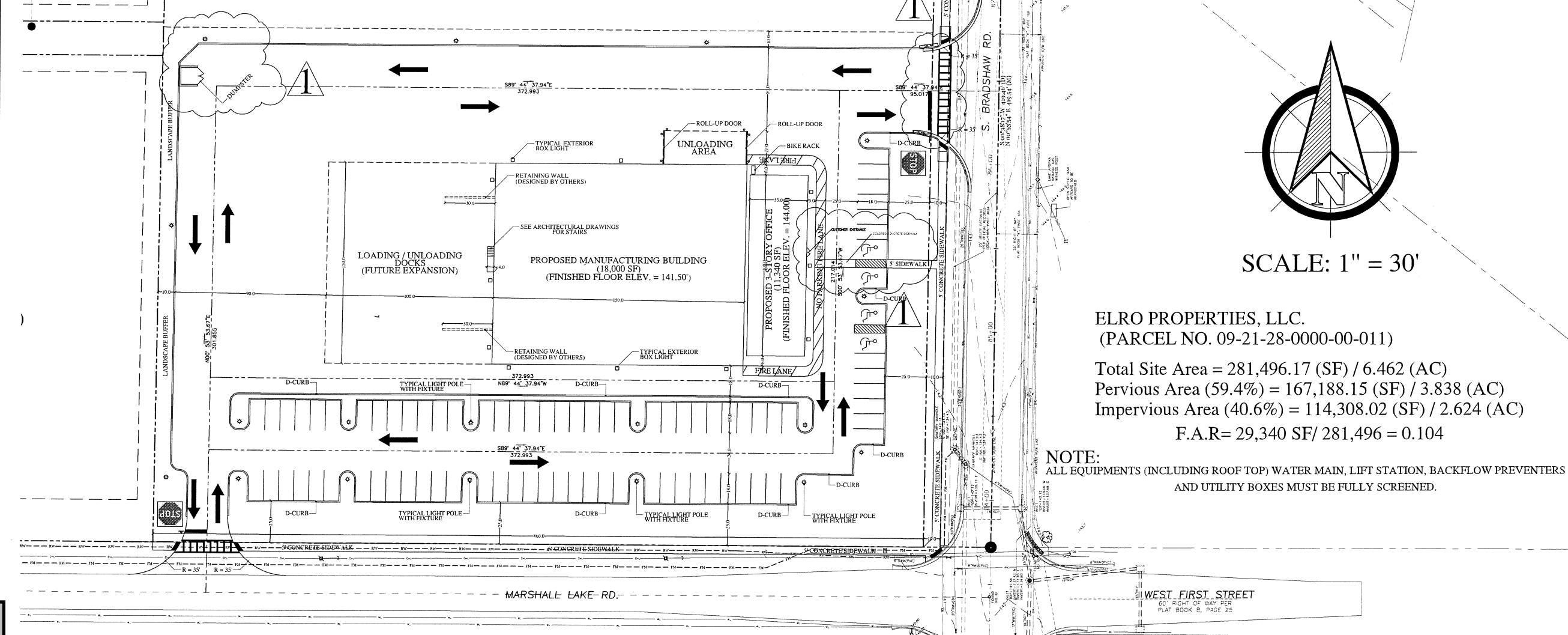
PROJECT NAME
ELRO PROPERTIES, LLC.
516 Cooper Commerce Dr., Suite 200
Apopka, FL 32703

DWG Sheet 4	SHEET
Date June 22, 2015	4
Scale As Shown	4 of 13

5
524 (AC)

ELRO PROPERTIES, LLC. (FUTURE DEVELOPMENT)

TRACT - B
LAKE GEM COMMERCE PARK
(20' UTILITY EASEMENT)



SCALE: 1" = 30'

ELRO PROPERTIES, LLC.
(PARCEL NO. 09-21-28-0000-00-011)

Total Site Area = 281,496.17 (SF) / 6.462 (AC)
Pervious Area (59.4%) = 167,188.15 (SF) / 3.838 (AC)
Impervious Area (40.6%) = 114,308.02 (SF) / 2.624 (AC)
F.A.R = 29,340 SF / 281,496 = 0.104

NOTE:
ALL EQUIPMENTS (INCLUDING ROOF TOP) WATER MAIN, LIFT STATION, BACKFLOW PREVENTERS
AND UTILITY BOXES MUST BE FULLY SCREENED.

Plan Notes

No.	Revision/Issue	Date
1	CITY COMMENTS	7/15

ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO. 48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

PROJECT NAME
ELRO PROPERTIES, LLC.
516 Cooper Commerce Dr., Suite 200
Apopka, FL 32703

DWG Sheet 5	SHEET
Date June 22, 2015	5
Scale As Shown	5 of 13

SITE PLAN

LANDSCAPE NOTES:

- The Landscape Architect shall provide landscape planting schedule and material specifications with soil and substrate analysis.
- Top soil shall be guaranteed with depth to prevent compaction. Coordinate the pricing with the budget and by a cost analysis and a firm order of materials.
- The Landscape Contractor shall be responsible for materials and all work called for in the landscape plan and in the landscape specifications. In the event of variation between quantities shown on plan and the plan, the plan shall control. The Landscape Contractor shall verify quantities and report any discrepancies to the Architect at the time of bid.
- Plant as schedule specified. The Landscape Contractor shall plan and perform to establish plant material specified to meet the plan.
- Every suitable measure shall be taken to protect building, contents, equipment and furnishings. The Landscape Contractor shall be responsible for any damage or injury to person or property which may occur as a result of negligence or the negligence of the work.
- All planting shall be performed by permanent familiar with planting procedure and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Plants Part 1 and 2 published by the Florida Department of Agriculture and Consumer Services or to the standards as given in the latest "American Standard for Nursery Stock," American National Standards Institute.
- The minimum acceptable size of all plants, measured after pruning, shall be as shown in normal position, shall conform to the specifications specified on the plan list or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. The caliper of tree trunks is to be taken 4" higher above the root ball.
- The Landscape Architect or Owner shall have the right, at any time of the contract, to reject any one or more and substitute others in the amount, do not meet with the requirements of these specifications.
- Plants shall be protected upon arrival of the site, by being thoroughly watered and properly maintained until planted.
- The Landscape Contractor shall be responsible for proper selection of all plants. All plants shall be in height, without or with pruning and top adequately matured until time of acceptance. It shall be the Landscape Contractor's responsibility to ensure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from being or being blown over, to re-plant and support all plants which blow or fall and to replace all plants which are damaged due to high or improper blowing or falling. The Landscape Contractor shall be held liable for the damage caused by inability to prevent blowing.
- All trees and all plants shall be properly staked or braced. The Landscape Contractor shall determine when and how to stake trees. Trees shall be staked and braced with the specifications of work schedule. If required, staking shall be done at the time of planting and during the period of acceptance. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees & provide other support if any plant matures.
- All trees and all plants shall be properly staked or braced. The Landscape Contractor shall determine when and how to stake trees. Trees shall be staked and braced with the specifications of work schedule. If required, staking shall be done at the time of planting and during the period of acceptance. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees & provide other support if any plant matures.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at an additional cost to the Owner.
- The Landscape Contractor shall provide, at his own expense, all labor and materials for staking and bracing of trees and shrubs. If required, staking shall be done at the time of planting and during the period of acceptance. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees & provide other support if any plant matures.
- Plants shall be ARGENTINE BANNA, unless otherwise specified. The plants shall be in height, without or with pruning and top adequately matured until time of acceptance. It shall be the responsibility of the Landscape Contractor to ensure that plants are not over watered.
- All plants shall be properly staked or braced. The Landscape Contractor shall determine when and how to stake trees. Trees shall be staked and braced with the specifications of work schedule. If required, staking shall be done at the time of planting and during the period of acceptance. It shall be the responsibility of the Landscape Contractor to remove guys and stakes from the trees & provide other support if any plant matures.
- The Landscape Contractor shall insure that his work does not interfere with established or projected drainage systems.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and all areas, without relying through any component of the site and shall be accomplished by means of drainage. It will be the responsibility of the Landscape Contractor to insure proper drainage. The Owner shall be held liable for the Landscape Contractor of time of bidding.
- All tree pits shall be accepted to size and depth in accordance with the USDA Standard for Nursery Stock (2001), unless shown otherwise on the drawings and identified with the specific planting call. The Landscape Contractor shall use all tree pits with water storage capacity to assure proper drainage retention & available.
- The Landscape Contractor shall be responsible for maintaining and available water plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, commercially reasonable measures to ensure the successful transplanting of replacement plant materials. The Landscape Contractor shall be responsible for replacing any damaged plant materials which die if such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of species desired and size as required.
- Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job is accepted by the Landscape Architect or Owner. Extensive care shall be taken to insure the Owner or his representatives in general maintenance procedures.
- Plant maintenance shall include watering, pruning, weeding, mulching, mounding, staking, and replacing of guys, replacement of sick or dead plants, removal of weeds, control of insects and diseases and replacement of the planting material and all other care needed for proper growth of the plants.
- During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all necessary spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for conducting of the inspection to take place prior to the anticipated date. At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor stating the job when the Maintenance Period ends.
- At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall be of the same kind and size as specified on the plan list. It shall be the responsibility of the Landscape Contractor.
- All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be given and in satisfactory growth for each specific kind of plant at the end of the guaranteed year.
- Soil shall be ASTM D 3268, natural peat, fertile, fine loamy soil possessing characteristics of representative top in the vicinity that produces heavy growth. Topsoil shall have a pH range of 6.5 to 7.5 percent, free from ground obstructions, weeds, stumps, salt, clay, stones larger than 1-inch in diameter, lumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder slaking operations. Top soil shall contain a minimum of three percent organic material.

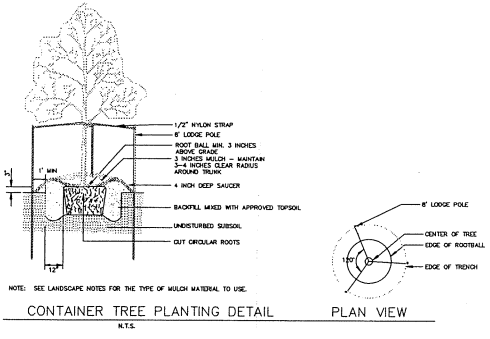
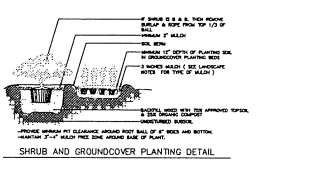
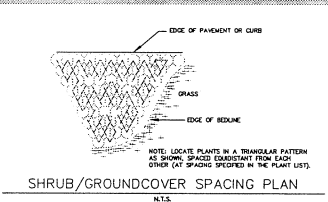
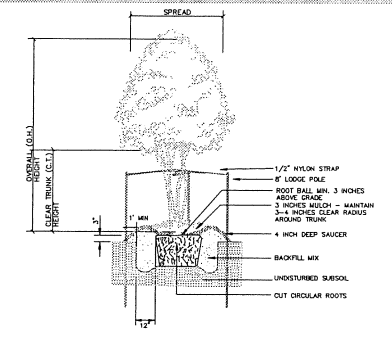
TOTAL TREE INCHES ON-SITE	176"
QUANTITY OF SPECIMEN TREES (24" OR GREATER) BEING REMOVED	0"
TOTAL NUMBER OF SPECIMEN INCHES REMOVED	132"
TOTAL TREE INCHES REMOVED	132"
TOTAL INCHES REQUIRED	171"
TOTAL INCHES REPLACED	171"
MAX TREE STOCK FORMULA AND CALCULATIONS	459"
PINES (1" X 1")	31
OAKS (3" X 1")	33
MAGNOLIA (1" X 2")	282
PINES (1" X 2")	282

SITE CLEARING AREA IN SQUARE FEET AND ACRES 281,498 SF (6.462 ACRES)

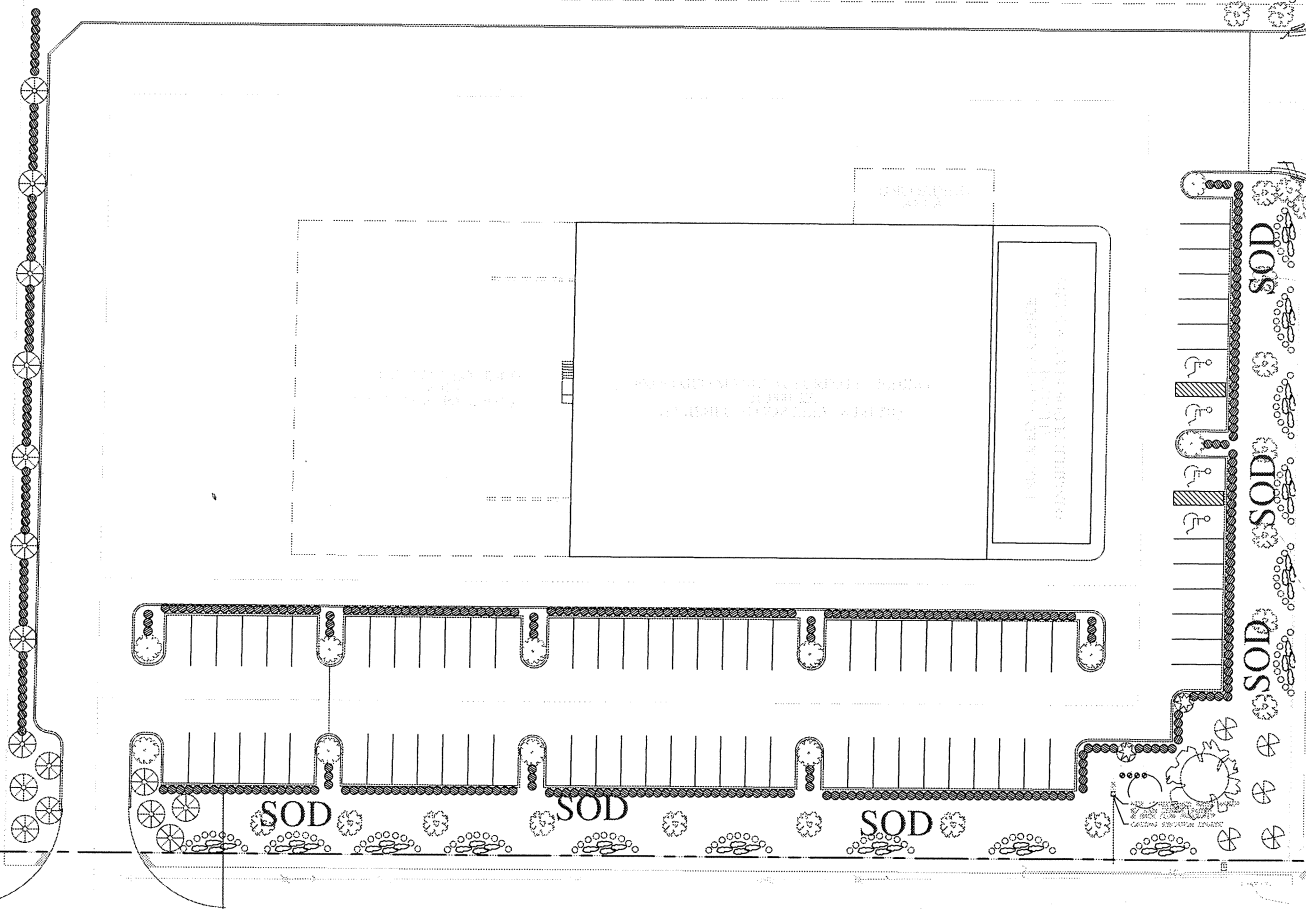
MAGNOLIA (BRACKEN BROWN) Min. 3" in Caliper	LAUREL OAK (QUERCUS LAURIFOLIA) Min. 3" in Caliper, 7' High x 7" spread, 4" clear trunk MODERATE WATER USE
PALM (WASHINGTONIA) Min. 3" in Caliper	CHRAPE MYRTLE (MUSKOGEE) Min. 2" in Caliper, 7' High
PODOCARPUS MINIMUM 36" O/C & 36" HEIGHT	PINE TREE Min. 3" in Caliper
JUNIPER (PARSONI)	INDIAN HAWTHORNE: RHAPHIOLEPIS Ø 24" O/C
EXISTING OAK TREE TO REMAIN	PALM TREE (SABAL)

- IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS OF EQUAL APPROXIMATE SIZE, AND APPROVED BY CITY OF APOPKA LAND DEVELOPMENT CODE.
- FIELD LOCATE ALL TREES SO AS TO NOT INTERFERE WITH ANY EXISTING AND/OR PROPOSED UTILITIES.
- FLOW RATE 90 GPM

I CERTIFY THAT THE LANDSCAPE & IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH C.O.A. ORDINANCE 2009 ADOPTED MAY 21, 2009 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.



LOT 1
(FUTURE DEVELOPMENT)
SEED & MULCH



SCREENING PLANT MATERIAL SHALL BE 36" HIGH AND SPACED @ 36" O.C.

LANDSCAPE PLAN

- CENTRICAL IRRIGATION SYSTEM FOR PERMANENT IRRIGATION 1"=30'-0"
- NOTE: IRRIGATION SYSTEMS ARE NOT ALLOWED
- ALL SEED SHALL BE ARGENTINE BANNA.
 - ALL GREEN AREAS OF TREES, PLANTS, AND SOIL TO BE IRRIGATED ACCORDINGLY.
 - ALL PLANTS TO BE 10' OR BETTER AND MEET ALL CITY OF APOPKA CODES AND ORDINANCES.
 - ALL TREES SHALL RECEIVE THE NECESSARY IRRIGATION DURING THE ROOT SYSTEMS AND TREE TRUNKS FROM SYSTEMS FOR TREE GROWTH THROUGH MULCH AND SOILWATER SYSTEMS.
 - ALL PLANTS AND TREES SHALL RECEIVE MULCH ACCORDINGLY.
 - ALL TREES SHALL BE BRACED ACCORDING TO WATERWISE LANDSCAPE AND IRRIGATION STANDARDS. TYPE OF BRACE SHALL BE OF A TYPE NOT TO HARM THE TREE TRUNK.

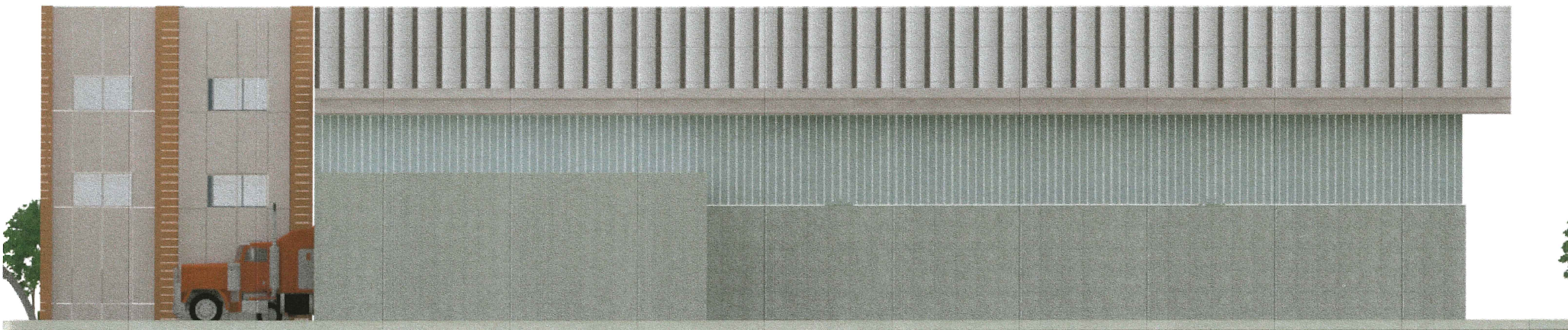
No.	Revision/Issue	Date

ENGINEER OF RECORD
ALI TEHRANI, P.E.
FLORIDA P.E. LICENSE NO. 48235
621 Sherwood Dr.
Altamonte Springs, FL 32751
Ph. (407) 948-0811

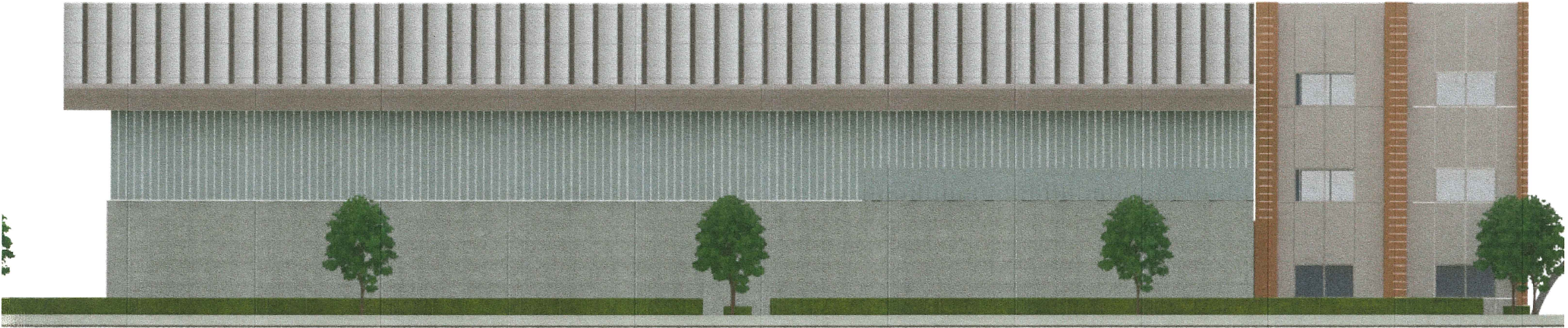
PROJECT NAME
ELRO PROPERTIES, LLC.
516 Cooper Commerce Dr., Suite 200
Apopka, FL 32703

DWG Sheet 13	SHEET
Date June 22, 2015	13
Scale As Shown	13 of 13

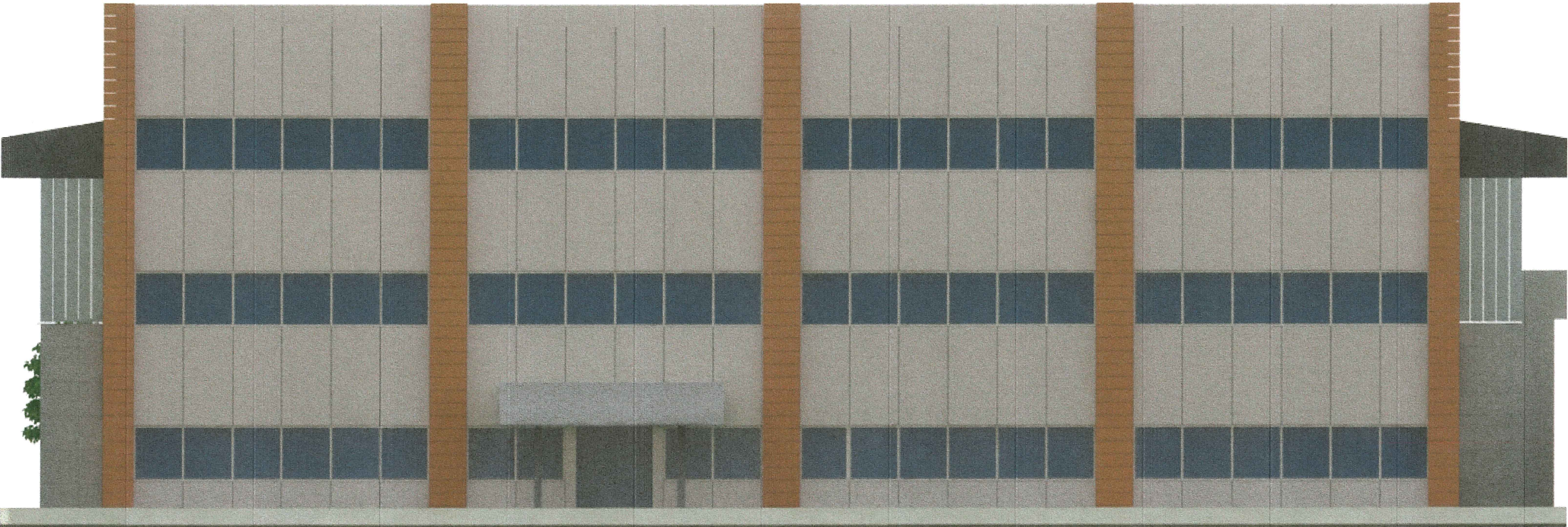
NORTH



SOUTH



EAST



EASTERN



SOUTHEAST



NORTHEAST



Backup material for agenda item:

2. MASS GRADING PLAN - Golden Gem Estates, Phase 1A – owner/applicant Cantero Holdings, LLC, c/o Jose Cantero; engineer is GL Summit, c/o Geoffrey Summit, P.E., for the property generally located south of Kelly Park Road, north of the Ponkan Road and east of Golden Gem Road. (Parcel ID Nos.: 24-20-27-0000-00-097, 24-20-27-0000-00-98, 24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102, 24-20-27-0000-00-100-103, 24-20-27-0000-00-104, 24-20-27-0000-00-105)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	July 28, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity Map
<input checked="" type="checkbox"/> OTHER: Mass Grading Plan		Mass Grading Plan

SUBJECT: MASS GARDING PLAN – GOLDEN GEM ESTATES - PHASE 1A

Request: RECOMMEND APPROVAL OF THE MASS GRADING PLAN FOR GOLDEN GEM ESTATES, OWNED BY CANTERO HOLDINGS, LLC. (PARCEL ID NUMBERS: 24-20-27-0000-00-097, 24-20-27-0000-00-098, 24-20-27-0000-00-100, 24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102, 24-20-27-0000-00-103, 24-20-27-0000-00-104, 024-20-27-0000-00-105)

SUMMARY

OWNER/APPLICANT: Cantero Holdings, LLC., c/o Mr. Jose Cantero

ENGINEER: GL Summit., c/o Goeffrey Summit, P.E.

LOCATION: South of Kelly Park Road, north of the Ponkan Road and east of Golden Gem Road

EXISTING USE: Planted Pine Site

FUTURE LAND USE: Rural Settlement (1du/ac)

CURRENT ZONING: AG

PROPOSED DEVELOPMENT: 12 Single Family Residential Subdivision\Mass Grading of Final Development Plans

TRACT SIZE: 80 +/- Acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 80 Units
PROPOSED: 12 Units (PHASE 1A)

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	ZIP	Vacant Land\Planted Pine Trees
North (County)	Rural (1du/10 ac/agricultural)	A-1	Foliage Nursery
East (County)	Rural (1du/10 ac/agricultural)	A-2	Manufactured Home\Grazing Land
South (City)	Rural Settlement(1du/ac)/Conservation	ZIP	Manufactured Home\Planted Pine Trees
West (County)	Rural (1du/10 ac/agricultural)	A-1	Construction, Debris, and Class 3 Land Fill

ADDITIONAL COMMENTS: The proposed mass grading plan allows site grading to occur consistent with the ground elevations and contours established within the Golden Gem Estates - Phase 1B Preliminary Development Plan. All required permits from the St. Johns Water Management District and other state agencies must be obtained by the applicant prior to commencing any grading activities. Planted pine has already been harvested from the subject property, leaving few canopy trees.

HAUL ROUTE: There has been a temporary access easement agreement established with the abutting property owner to the east, granting direct access to Wekiva Parkway (S.R. 429) as illustrated on Sheet 4, of the Mass Grading Plan.

ENVIRONMENTAL: A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any grading or further site construction activity.

TREE PROGRAM: The planted pine located on this site is exempt from the arbor mitigation requirements and was harvested for silviculture purposes. Pine trees have already been harvested from the site. The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program, if applicable.

LANDSCAPING/BUFFERS: Per city code, a six-foot brick wall within a ten-foot landscape buffer is required along Golden Gem Road. However, a brick wall will be out of character with the surrounding landscape and environment. In lieu of a brick wall, a 50-foot wide landscape buffer is proposed. The City owns acres to the south, the landfill is located to the west, and large lot residential uses occur to the south and north along Golden Gem Road. Further north along Golden Gem Road, the Wekiva Parkway Interchange Vision Plan Area is just to the north along Golden Gem Road, and it promotes a pedestrian-oriented development theme. Further, it is unreasonable to believe that a 12 lot residential development, which could be trailer homes, can financially support maintenance and replacement of a brick wall at such time it deteriorates or is damaged.

SCHOOL CAPACITY REPORT: No development activity beyond the grading activities approved within the Mass Grading Plan can occur until such time that a concurrency mitigation agreement or letter has been approved by OCPS. The applicant has applied to OCPS for this agreement. The developer has submitted a school capacity determination application to OCPS. The schools designated to serve this community are the following: Zellwood Elementary, Wolf Lake Middle and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

July 28, 2015 – Planning Commission (5:01 pm)

August 5, 2015 – City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Golden Gem Estates Ph.1A Mass Grading Plan for the property owned by Cantero Holding, LLC

Planning Commission Recommendation: The role of the Planning Commission for this development application, is to advise the City Council to approve or deny based on the consistency with the Comprehensive Plan and Land Development Code.

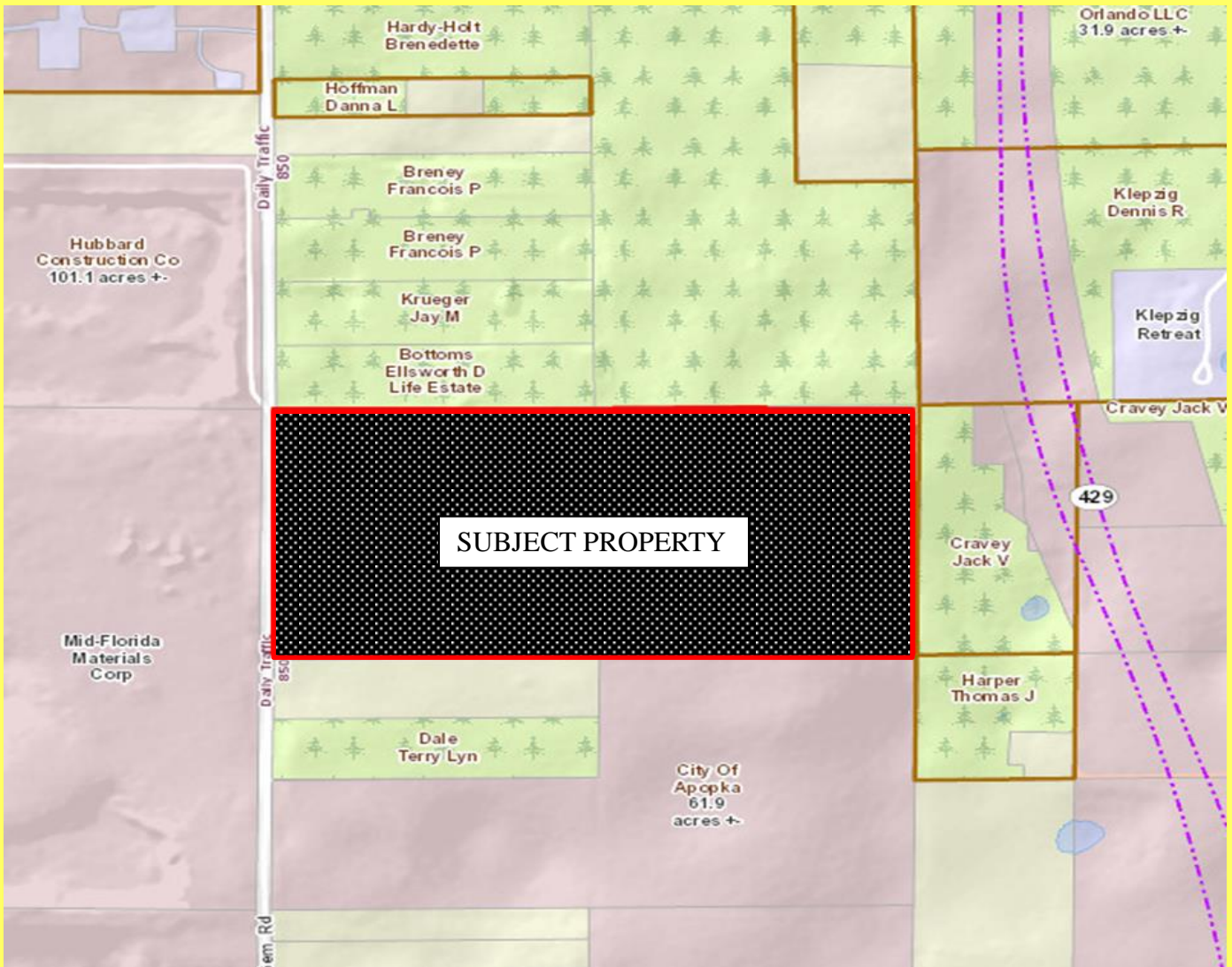
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



Golden Gem Estates, Phase 1A
Mass Grading Plan
Cantero Holdings, LLC., c/o Mr. Jose Cantero
GL Summit., c/o Goeffrey Summit, P.E.
Proposed Maximum Development - 80 Units
80.00 +/- Total Acres

Parcel ID #s: 24-20-27-0000-00-097, 24-20-27-0000-00-098, 24-20-27-0000-00-100,
24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102,
24-20-27-0000-00-103, 24-20-27-0000-00-104, 024-20-27-0000-00-105

VICINITY MAP



GENERAL NOTES:

- THE CONTRACTOR SHALL TAKE SPECIAL NOTICE THAT ALL SPECIFICATIONS AND DETAILS SHOWN HEREON ARE BELIEVED TO BE THE LATEST AND MOST ACCURATE AT THE TIME OF DESIGN AND SUBMITTAL. HOWEVER, THE ENGINEER DOES NOT WARRANT ANY OF THE PROVIDED SPECIFICATIONS AND DETAILS. THESE SPECIFICATIONS AND DETAILS ARE SUBJECT TO REVISION BY THE ISSUING MUNICIPALITIES AND AGENCIES. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN COMPLETE COPIES OF AND BECOME FAMILIAR WITH ALL REFERENCES CONTAINED HEREIN, INCLUDING, BUT NOT LIMITED TO THE LATEST EDITIONS OF: THE LOCAL AGENCY'S SPECIFICATIONS, THE UTILITY PROVIDER'S SPECIFICATIONS, THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) "MANUAL OF UNIFORM MINDING STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS" (GREEN BOOK), THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) "UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" (MUTCD), FDOT "ROADWAY AND TRAFFIC DESIGN STANDARDS" (RTDS), AND FDOT "STANDARD SPECIFICATIONS FOR ROAD & BRIDGE CONSTRUCTION" (SSRBC).
- ALL FDOT DESIGN INDICES ARE HEREBY INCORPORATED AS PLAN REFERENCES HEREIN.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTING ALL WORKS IN CONFORMANCE WITH LOCAL AGENCIES' LATEST CODES, REGULATIONS & REQUIREMENTS, RTDS, AND SSRBC.
- IT IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION INSPECTION, TESTING, AND MATERIALS CONFORM TO THE LATEST EDITIONS OF THE DESIGN REFERENCES INCLUDING, BUT NOT LIMITED TO: LOCAL AGENCY'S SPECIFICATIONS, WATER MANAGEMENT DISTRICT (WMD), FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FDEP), FDOT, AND MUTCD.
- THE CONTRACTOR IS DIRECTED TO NOTIFY G L SUMMITT ENGINEERING, INC. OF ANY PROBLEMS REQUIRING DEVIATION FROM THESE PLANS AND SPECIFICATIONS.
- PRIOR TO COMMENCEMENT OF CONSTRUCTION, THE CONTRACTOR SHALL MEET WITH AND SUBMIT A CONSTRUCTION SCHEDULE TO THE ENGINEER AND SECURE ALL REQUIRED LICENSES AND PERMITS.
- WHEN DETAILS ARE PROVIDED, CONTRACTOR SHALL CONSTRUCT JOB PER SPECIFIC DETAILS, AND NOT BY SCALING FROM THESE PLANS.
- CONTRACTOR SHALL SUBMIT A "MAINTENANCE OF TRAFFIC" PLAN TO THE APPROPRIATE LOCAL AGENCY PRIOR TO CONSTRUCTION COMMENCEMENT.
- AS-BUILT DRAWINGS SHALL BE KEPT BY THE CONTRACTOR AND SUBMITTED TO THE PROJECT ENGINEER UPON COMPLETION OF CONSTRUCTION.
- THE CONTRACTOR SHALL RESTORE OFF-SITE CONSTRUCTION AREAS TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE CONTRACTOR SHALL BECOME FAMILIAR WITH THE POLICIES AND GUIDELINES ESTABLISHED BY THE LOCAL AGENCY REGARDING THE PRESERVATION OF ALL PUBLIC AND PRIVATE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE OR INJURY TO PROPERTY OF ANY CHARACTER, DURING THE PROSECUTION OF THE WORK, RESULTING FROM ANY OMISSION, NEGLIGENCE, OR MISCONDUCT IN HIS MANNER OR METHOD OF EXECUTING THE WORK, OR AT ANY TIME DUE TO DEFECTIVE WORK OR MATERIALS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE BUFFERS, RETENTION AND DETENTION FACILITIES, EASEMENTS, ETC. UNTIL THE WORK HAS BEEN ACCEPTED BY THE OWNER. ALL DISRUPTED AREAS SHALL BE RETURNED TO EQUAL OR BETTER CONDITION THAN EXISTED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- THE BUILDING SITE AND POND AREAS SHALL BE CLEARED OF ALL TREES EXCEPT THOSE WHICH ARE DESIGNATED TO BE SAVED OR RELOCATED. BEFORE CONSTRUCTION, THE CONTRACTOR SHALL MEET AT THE SITE WITH THE OWNER. AT THIS TIME, ANY TREES TO BE SAVED SHALL BE POINTED OUT AND TAGGED. THESE TREES SHALL BE PROTECTED FROM DAMAGE. TREES SHALL NEITHER BE REMOVED FROM THE WETLAND NOR THE WETLAND PROTECTIVE BUFFER WITHOUT APPROVAL FROM ORANGE COUNTY EPD 497-836-1451.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SETBACKS AND EASEMENTS BEFORE BEGINNING CONSTRUCTION. THESE SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE WETLAND AND THE WETLAND BUFFER AREAS.
- EXISTING FEATURES INFORMATION IS BASED ON THE FOLLOWING:
SURVEYOR: N/A
DRAWING: N/A
DATED: N/A
LATEST REVISION DATE: N/A
- ROADWAYS AND PARKING AREAS ARE DESIGNED IN SUBSTANTIAL CONFORMANCE WITH THE APPLICABLE STANDARDS AS SET FORTH IN THE GREEN BOOK AND THE LOCAL AGENCIES' SPECIFICATIONS.
- ALL PAVEMENT MARKING, STRIPING SIGNS AND OTHER TRAFFIC CONTROL EQUIPMENT AND INSTALLATION THEREOF SHALL CONFORM TO MUTCD AS WELL AS LOCAL, STATE, AND OTHER FEDERAL STANDARDS, REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL FORM SIDEWALKS, CURBS, ETC. IN ACCORDANCE WITH THE GRADING AND DRAINAGE PLAN AND SPECIFICATIONS WHERE APPLICABLE. CONTRACTOR IS RESPONSIBLE FOR CONFORMANCE TO REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT (ADA), FLORIDA ACCESSIBILITY CODE (FAC), AND LOCAL GOVERNMENT. THE MAXIMUM LONGITUDINAL ACCESSIBLE SIDEWALK AND DRIVEWAY SLOPES SHALL BE 5.0% AND MAXIMUM CROSS SLOPE OF 5.0% (1/4" MINIMUM).
- THE CONTRACTOR SHALL INSTALL DROP CURBS AND HANDICAP RAMPS AT ALL INTERSECTIONS OF THE SIDEWALK WITH THE PROPOSED PAVEMENT TO MEET FDOT, ADA, AND FAC SPECIFICATIONS.
- THE CONTRACTOR SHALL COMPLY WITH THE AGENCY HAVING JURISDICTION FOR STRIPPING, CLEARING, GRUBBING, GRADING, BACKFILLING, AND EMBANKMENT PREPARATION WITHIN ALL DESIGNED ROADWAY RIGHT-OF-WAY SECTIONS.
- UNLESS OTHERWISE NOTED, GRADE TO MEET EXISTING ELEVATIONS AT PROPERTY LINES. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE OF THE SITE TO THE RETENTION PONDS AS SHOWN BY PROPOSED GRADES AND FLOW ARROWS.
- THE CONTRACTOR SHALL CONSTRUCT ALL STORM SEWER AND APPURTENANCES IN ACCORDANCE WITH LOCAL AGENCY'S SPECIFICATIONS, WMD REQUIREMENTS AND SSRBC.
- THE CONTRACTOR SHALL INSURE THAT PROPER SOIL DENSITIES ARE ACHIEVED FOR PLACEMENT OF ALL PAVEMENT ROADWAY AND WALL FOOTINGS, RETAINING WALLS, AND IN GENERAL, ANY FOOTING SUPPORT DESCRIBED ON THESE PLANS. IT WILL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE THAT SUFFICIENT SOILS TESTING HAS BEEN PERFORMED PRIOR TO CONSTRUCTION.
- GEOTECHNICAL ENGINEERING INFORMATION IS BASED ON THE FOLLOWING:
ENGINEER: Yorval Engineering Sciences, LLC
REPORT: 13-018102
DATED: May 24, 2015
LATEST REVISION DATE: N/A

ADDITIONAL SERVICES WILL BE PROVIDED TO THE CONTRACTOR UPON REQUEST OF THE OWNER. G L SUMMITT ENGINEERING, INC. ASSUMES NO RESPONSIBILITY FOR THE CORRECTNESS, ACCURACY AND COMPLETENESS OF GEOTECHNICAL WORK.

GENERAL NOTES (CONT.):

- EXCAVATION OF UNSUITABLE FILL AND COMPACTION SHALL BE DONE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT REFERENCED IN THESE NOTES.
- EXCAVATION, PAVING, STORM SEWER AND ANY RELATED WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL AGENCY'S SPECIFICATIONS, SSRBC, AS WELL AS REQUIREMENTS FOR SITE WORK AS SHOWN IN THE GEOTECHNICAL REPORT REFERENCED IN THESE NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL GEOTECHNICAL REPORTS PREPARED FOR THE SITE. ALL SITE GRADING IS TO CONFORM TO THE GEOTECHNICAL REPORT REFERENCED IN THESE NOTES, SPECIFICATIONS AND DETAILS.
- CONTRACTOR SHALL INSTALL ROAD UNDERDRAINS (IF CALLED FOR ON THE PLANS) IN ACCORDANCE WITH THE GEOTECHNICAL REPORT REFERENCED IN THESE DETAILS.
- IN OTHER AREAS WHICH REQUIRE FILL MATERIAL THE CONTRACTOR WILL STRIP OR OTHERWISE REMOVE ALL VEGETATION SUCH AS BRUSH, HEAVY SOGS, HEAVY GROWTH OF GRASS, DECAYED VEGETATIVE MATTER, RUBBISH AND ANY OTHER DELETERIOUS MATERIAL BEFORE EMBANKMENT IS STARTED. IMMEDIATELY PRIOR TO THE PLACING OF FILL MATERIALS, THE ENTIRE AREA UPON WHICH FILL IS TO BE PLACED, SHALL BE SCARIFIED IN A DIRECTION APPROXIMATELY PARALLEL TO THE AXIS OF FILL. THE SOILS ENGINEER SHALL APPROVE THE AREA PRIOR TO THE PLACEMENT OF FILL.
- AFTER THE ROADWAY SUBGRADE HAS BEEN CONSTRUCTED, IT SHALL BE PROOF-ROLLED TO ASSURE THAT PROPER COMPACTION HAS BEEN ATTAINED. THE PROOF-ROLLING AND COMPACTION OPERATIONS SHALL BE INSPECTED AND TESTED BY A GEOTECHNICAL ENGINEER LICENSED BY THE STATE OF FLORIDA TO ASSURE THAT THE SPECIFIED COMPACTION IS MAINTAINED AND ALL DELETERIOUS MATERIALS HAVE BEEN REMOVED.
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE MINIMUM CLASS III OR FDOT APPROVED EQUAL (RCP). ALL HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL BE ADS N-12 OR APPROVED EQUAL.
- ALL MANHOLE AND INLET STRUCTURES SHALL BE PRECAST CONCRETE. THE CONTRACTOR SHALL USE CONCRETE WITH A MINIMUM 28 DAY STRENGTH OF 3,000 P.S.I.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES OR UNDERGROUND STRUCTURES PRIOR TO CONSTRUCTION AND NOTIFY EACH RESPECTIVE UTILITY OWNER FORTY-EIGHT (48) HOURS (2 WORKING DAYS) PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- COMPACT ALL UTILITY TRENCHES WITHIN THE TOP 2' OF THE ROADWAY TO 98% OF THE MODIFIED PROCTOR DENSITY; WITHIN OTHER AREAS TO 94%.
- ALL PAVEMENT, PAVEMENT BASE, CURBING, STORMWATER SYSTEMS, WATER SYSTEMS AND SANITARY SEWER SYSTEMS THAT ARE TO BE DEMOLISHED AND REMOVED SHALL BE DISPOSED OF OFF-SITE BY THE SITE CONTRACTOR, UNLESS OTHERWISE DIRECTED BY THE OWNER.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE ADEQUATE DRAINAGE AND PROPER SOIL EROSION CONTROL MEASURES FOR PROTECTION OF ALL DRAINAGE AND SEWER STRUCTURES AND AT ALL ADJACENT LANDS AND ROADS.
- CONTRACTOR SHALL PROVIDE EROSION AND SEDIMENT CONTROL DURING THE CONSTRUCTION PHASE PER LOCAL AGENCY, WMD, FDEP, AND ENVIRONMENTAL PROTECTION AGENCY (EPA) REQUIREMENTS.
- THE CONTRACTOR SHALL PERFORM EROSION CONTROL MEASURES IN ACCORDANCE WITH CITY OF APOPKA STANDARDS, DETAILS CONTAINED IN THE PLANS, THE FOLLOWING NOTES AND AS DIRECTED BY THE ENGINEER.
- PROVIDE FDOT TYPE III SILT FENCE ALONG THE PROPERTY LINES DURING CONSTRUCTION AS REQUIRED TO PREVENT SEDIMENTATION.
- DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM SITE.
- ALL EXISTING UTILITIES HAVE BEEN FIELD VERIFIED AT ALL POINTS OF CONNECTION TO, AND AT ALL AREAS OF CONFLICT WITH OCCUPANCIES.

EROSION & SEDIMENT CONTROL NOTES:

- BECAUSE OF THE PROJECT'S PROXIMITY TO ADJACENT LAKES, WETLANDS & WETLAND BUFFERS, CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE EROSION, TO RETAIN SEDIMENT WHICH UNWANTABLY WILL RESULT FROM ON-SITE CONSTRUCTION ACTIVITIES, TO PREVENT SEDIMENTATION AND OTHERWISE PROTECT ON-SITE WETLANDS & WETLAND BUFFERS WHICH ARE TO BE SAVED. THE BASIC PRINCIPLES DESCRIBED HEREIN ARE INTENDED TO DEFINE THE DEVELOPER'S INTENT AND REQUIRE THE CONTRACTOR TO SATISFY THE SPECIFIC REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- THE SCHEDULING, SEQUENCING AND CONTROL MEASURES, WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO FINAL DEFINITION BY THE CONTRACTOR WHO WILL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE DEPICTING EACH PHASE OF THE WORK. THE CONTRACTOR SHALL ALSO BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN TO THE OWNER, THE ENGINEER AND ORANGE COUNTY ENCUMBERS THE CONTRACTOR'S EXACT PLAN OF IMPLEMENTING THE PRINCIPLES AND THE REQUIREMENTS DESCRIBED HEREIN. NO CONSTRUCTION CAN BEGIN UNTIL SAID PLAN HAS BEEN APPROVED BY THE APPROPRIATE LOCAL AGENCY.
- DURING CONSTRUCTION THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTION, SILTATION OR DISTURBANCE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE ADJACENT WATER BODIES IN COMPLIANCE WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES.
- EROSION CONTROL METHODS SHALL INCLUDE TEMPORARY CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, SILT SCREENS, TURBIDITY BARRIERS OR THEIR BEST MANAGEMENT PRACTICE AVAILABLE TO THE INDUSTRY.
- EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE MAINTAINED BY CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL NEW VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL DAILY INSPECT PROTECTIVE INSTALLATIONS FOR FAILURES OR SIGNS OF FAILURE OR MALFUNCTION AND EFFECT REPAIRS OR REPLACEMENT IMMEDIATELY UPON DISCOVERY.
- THE RECOMMENDED GENERAL SEQUENCE OF CONSTRUCTION FOR ALL BASINS IS AS FOLLOWS:
 - PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, ETC) AROUND ON-SITE LAKES, AT POINTS OF OFFSITE DISCHARGE, AND AROUND WORK AREAS.
 - ROUTE RUNOFF FROM AREAS OUTSIDE OF THE DEVELOPMENT AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTURBED BY CONSTRUCTION. BERMS, SWALES AND OTHER MEANS USED FOR SUCH CONVEYANCE SHALL BE VEGETATED AND MEASURES TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION HAS BEEN ESTABLISHED.
 - SELECT LOCATIONS FOR PLACEMENT OF MATERIAL, WHETHER SUITABLE FOR FILL OR UNSUITABLE, AND CONSTRUCT CONTAINMENT BERMS AROUND THE AREA. THE USE OF STRIPPINGS FOR THIS PURPOSE MAY ACCELERATE BERM REVEGETATION. CONSTRUCT TEMPORARY OUTLETS FROM CONTAINMENT AREAS WITH SCREENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORTATION.
 - SELECT/DESIGNATE ACCESS ROUTES FOR CONSTRUCTION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN WILL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.
 - IF REQUIRED, CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR CONSTRUCTION AREA RUNOFF. PROVIDE SCREENS, ECT. TO FILTER DISCHARGE FROM THESE AREAS. F. GRASSING, SODDING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF DISTURBED AREAS WITHIN PROTECT AREA 6. IN ANY EVENT, CONTRACTOR IS SOLELY RESPONSIBLE FOR ENSURING ANY AND ALL MEASURES ARE TAKEN TO COMPLY WITH LOCAL, STATE, FEDERAL AND OWNER REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES (cont.):

- BAHIA SOD REQUIRED AROUND ALL STORM INLETS IN UNPAVED AREAS.
- THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH FDEP A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURBS ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO FDEP WITH A COPY TO THE OWNER, THE ENGINEER AND THE (CITY/COUNTY) AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION.
- AS REQUIRED BY THE GENERIC PERMIT, CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PURSUANT TO ALL REQUIREMENTS OF THE GENERIC PERMIT.
- PURSUANT TO THE NPDES, CONTRACTOR SHALL MAINTAIN RECORDS OF DATES WHEN MAJOR GRADING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE AND SHALL INITIATE STABILIZATION MEASURES WITHIN 14 DAYS AFTER SUCH TEMPORARY OR PERMANENT CESSATION OF CONSTRUCTION ACTIVITY. STABILIZATION REQUIREMENTS (SODDING WHERE SHOWN ON THE PLANS, SEEDING AND MULCHING ELSEWHERE) APPLY TO ALL AREAS DISTURBED BY CONSTRUCTION, ON-SITE AND OFF-SITE.
- CONTRACTOR SHALL PROVIDE INSPECTIONS BY QUALIFIED PERSONNEL OF ALL POINTS OF DISCHARGE, DISTURBED AREAS NOT YET FINALLY STABILIZED, STORAGE AREAS EXPOSED TO RAINFALL, STRUCTURAL CONTROLS AND VEHICULAR ACCESS LOCATIONS. INSPECTIONS SHALL BE MADE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER.
- CONTRACTOR SHALL MAINTAIN A COPY OF THE SWPPP AT THE SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
- CONTRACTOR SHALL AMEND THE SWPPP WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION OF MAINTENANCE THAT MAY HAVE A SIGNIFICANT EFFECT ON THE POTENTIAL FOR OFF-SITE DISCHARGE OF POLLUTANTS, INCLUDING THE ADDITION OF OR CHANGE IN LOCATION OF DISCHARGE POINTS AND REVISION TO CONTROLS WHICH MAY HAVE PROVED TO BE INEFFECTIVE.
- CONTRACTOR SHALL REMAIN RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION PROTECTION MEASURES UNTIL CONSTRUCTION HAS BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT PLANS, CERTIFIED AS SUCH BY THE ENGINEER AND ACCEPTED BY THE (CITY/COUNTY), WHETHER OR NOT CONTRACTOR HAS SUBMITTED A NOTICE OF TERMINATION (NOT) TO FDEP.
- IF CONTRACTOR PROPOSES TO DISCHARGE DEWATERING EFFLUENT OFF-SITE, HE SHALL COMPLY WITH FDEP'S "GENERIC PERMIT FOR DISCHARGE OF PROTECTED GROUND WATER FROM ANY NON-CONTAMINATED SITE ACTIVITY". PERMIT REQUIREMENTS CAN BE OBTAINED FROM FDEP AT (407)894-7555 EXT. 3985. THIS PERMIT IS INDEPENDENT OF AND IN ADDITION TO WATER MANAGEMENT DISTRICTS' PERMITS FOR CONSTRUCTION DEWATERING.

TURBIDITY MONITORING REQUIRED:

DESCRIPTION: TURBIDITY EXPRESSED IN NEPHELOMETRIC TURBIDITY UNITS (NTU).

LOCATION: BACKGROUND-SAMPLES SHALL BE TAKEN 200 FEET UPSTREAM OF ANY CONSTRUCTION ACTIVITY WITHIN SURFACE WATERS OF THE STATE.

COMPLIANCE SAMPLES SHALL BE TAKEN 200 FEET DOWNSTREAM OF THE CONSTRUCTION ACTIVITIES ADJACENT TO OR WITHIN WATERS OF THE STATE.

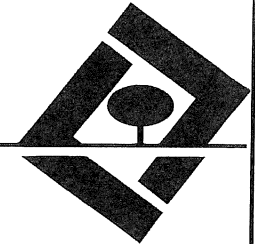
FREQUENCY: TWICE DAILY, WITH AT LEAST A FOUR HOUR INTERVAL, DURING ALL WORK AUTHORIZED BY THIS PERMIT.

DURATION: MONITORING SHALL BEGIN ON THE FIRST DAY OF CONSTRUCTION FOR ALL ACTIVITIES AND MAY BE DISCONTINUED UPON PERMANENT STABILIZATION OF ALL DISTURBED SOILS.

STANDARDS & REPORTING: THE MONITORING DATA MUST DEMONSTRATE THAT TURBIDITY AT THE COMPLIANCE SITE IS LESS THAN OR EQUAL TO 29 NTU'S ABOVE NATURAL BACKGROUND FOR A PERIOD OF 7 CONSECUTIVE DAYS AFTER COMPLETION OF CONSTRUCTION. ALL MONITORING DATA SHALL BE READ AND RECORDED DAILY, AND SUBMITTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE (O.A.R.) BY 5:00 P.M. EACH FRIDAY. IF AT ANY TIME THE TURBIDITY EXCEEDS BACKGROUND BY MORE THAN 29 NTU'S, ALL CONSTRUCTION ACTIVITIES SHALL BE HALTED, A WRITTEN REPORT FAXED TO THE DISTRICT POST PERMIT COMPLIANCE DEPARTMENT IN ORLANDO. MONITORING REPORTS SHALL ALSO INCLUDE THE FOLLOWING INFORMATION FOR EACH SAMPLE THAT IS TAKEN:

- TIME OF DAY SAMPLES WERE TAKEN
- DEPTH OF WATER BODY
- DEPTH OF SAMPLES
- ANTECEDENT WEATHER CONDITIONS
- WIND DIRECTION AND VELOCITY, AND
- SAMPLE LOCATION MAP

CORRECTIVE ACTIONS: REMEDIAL MEASURES SHALL BE TAKEN IMMEDIATELY TO CORRECT THE PROBLEM. ACTIVITIES SHALL RESUME ONLY WITH THE CONFIRMATION FROM DISTRICT STAFF THAT THE SITUATION HAS BEEN RESOLVED.



G L SUMMITT
ENGINEERING INC.

Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650

www.GLSummitt.com

Cantero Holding, LLC
12601 Avalon Road

Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

Final Mass
Grading Plan

General Notes

Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
3 OF 10

EROSION & SEDIMENT CONTROL NOTES:

- BECAUSE OF THE PROJECT'S PROXIMITY TO ADJACENT LAKES, CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE EROSION, TO RETAIN SEDIMENT WHICH UNAVOIDABLY WILL RESULT FROM CONSTRUCTION ACTIVITIES, TO PREVENT SEDIMENTATION AND OTHERWISE PROTECT ON-SITE WETLANDS WHICH ARE TO BE RESTORED. THE BEST PRACTICES DESCRIBED HEREIN ARE INTENDED TO DEFINE THE DEVELOPER'S INTENT AND REQUIRE THE CONTRACTOR TO SATISFY THE SPECIFIC REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION OVER THE WORK.
- THE SCHEDULING, SEQUENCING AND CONTROL MEASURES WHICH ARE OUTLINED HEREIN, ARE SUBJECT TO FINAL DEFINITION BY THE CONTRACTOR WHO WILL BE RESPONSIBLE FOR IMPLEMENTATION AND COMPLIANCE.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO SUBMIT A CONSTRUCTION SCHEDULE DETAILING EACH PHASE OF THE WORK. THE CONTRACTOR SHALL ALSO BE REQUIRED TO SUBMIT AN EROSION AND SEDIMENT CONTROL PLAN TO THE OWNER, THE ENGINEER AND ORANGE COUNTY ENGINEERING. THE CONTRACTOR'S EXACT PLAN OF EROSION CONTROL MEASURES, THE PRINCIPLES AND THE REQUIREMENTS DESCRIBED HEREIN, NO CONSTRUCTION CAN BEGIN UNTIL SAID PLAN HAS BEEN APPROVED BY THE APPROPRIATE LOCAL AGENCY.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ALL REASONABLE MEASURES TO ENSURE AGAINST POLLUTION, SILTATION OR DISTURBANCE TO SUCH AN EXTENT AS TO CAUSE AN INCREASE IN TURBIDITY TO THE ADJACENT WATER BODIES IN COMPLIANCE WITH ALL PERMIT REQUIREMENTS RELATED TO SUCH MEASURES.
- EROSION CONTROL METHODS SHALL INCLUDE TEMPORARY CONTROL STRUCTURES SUCH AS SEDIMENT BASINS, SEDIMENT CHECKS, SILT BARRIERS, SILT SCREENS, TURBIDITY BARRIERS OR THEIR BEST MANAGEMENT PRACTICE AVAILABLE TO THE INDUSTRY.
- EROSION AND SEDIMENT CONTROL INSTALLATIONS SHALL BE MAINTAINED BY CONTRACTOR THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL NEW VEGETATIVE GROWTH HAS BEEN ESTABLISHED.
- THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL DAILY INSPECT PROTECTIVE INSTALLATIONS FOR FAILURES OR SIGNS OF FAILURE OR MALFUNCTION AND EFFECT REPAIRS OR REPLACEMENT IMMEDIATELY UPON DISCOVERY.
- THE RECOMMENDED GENERAL SEQUENCE OF CONSTRUCTION FOR ALL BASINS IS AS FOLLOWS:
 - PLACEMENT OF PERIMETER PROTECTIVE MEASURES (SILT FENCE, ETC.) AROUND ON-SITE LAKES, AT POINTS OF OFFSITE DISCHARGE, AND AROUND WORK AREAS.
 - RE-ROUTE RUNOFF FROM AREAS OUTSIDE OF THE DEVELOPMENT AREA TO MINIMIZE FLOW THROUGH AREAS TO BE DISTURBED BY CONSTRUCTION. SWALES AND OTHER MEANS USED FOR SUCH CONVEYANCE SHALL BE VEGETATED AND MEASURES TAKEN TO PROVIDE PROTECTION UNTIL STABILIZATION HAS BEEN ESTABLISHED.
 - SELECT LOCATIONS FOR PLACEMENT OF MATERIAL, WHETHER SUITABLE FOR FILL OR UNSUITABLE, AND CONSTRUCT CONTAINMENT BERRMS AROUND THE AREA. THE USE OF STRIPINGS FOR THIS PURPOSE MAY ACCELERATE BERM REVEGETATION. CONSTRUCT TEMPORARY OUTLETS FROM CONTAINMENT AREAS WITH SCREENS, HAY BALES, SETTLING BASINS OR OTHER MEASURES TO PREVENT SILT TRANSPORTATION.
 - SELECT/DESIGNATE ACCESS ROUTING FOR CONSTRUCTION EQUIPMENT AND VEHICLES AND PROVIDE PERIMETER PROTECTIVE MEASURES WHERE EXISTING TERRAIN WILL BE SUBJECT TO DISRUPTION BY SUCH TRAFFIC.
 - IF REQUIRED, CONSTRUCT ABOVE GROUND OR OTHER CONTAINMENT AREAS FOR CONSTRUCTION AREA RUNOFF. PROVIDE SCREENS, ETC. TO FILTER DISCHARGE FROM THESE AREAS. F. GRASSING, SODDING, ETC. SHALL BE IN PLACE IMMEDIATELY UPON COMPLETION OF DISTURBED AREAS WITHIN PROJECT AREA. 6. IN ANY EVENT, CONTRACTORS SOLELY RESPONSIBLE FOR ENSURING ANY AND ALL MEASURES ARE TAKEN TO COMPLY WITH LOCAL, STATE, FEDERAL AND OTHER REQUIREMENTS FOR EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION.

EROSION & SEDIMENT CONTROL NOTES (cont.):

- BAHIA SOD REQUIRED AROUND ALL STORAGE TANKS IN UNPAVED AREAS.
- THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY HAS AUTHORIZED THE STATE OF FLORIDA TO ADMINISTER THE NATIONAL DISCHARGE ELIMINATION SYSTEM (NDDES). CONTRACTOR IS ADVISED THAT OPERATORS ARE REQUIRED TO FILE WITH FDEP A NOTICE OF INTENT TO USE THE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES THAT DISTURBS ONE OR MORE ACRES OF LAND. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO SUBMIT THE NOTICE OF INTENT (NOI) TO FDEP WITH A COPY TO THE OWNER, THE ENGINEER AND THE (CITY/COUNTY) AT LEAST 48 HOURS BEFORE INITIATING CONSTRUCTION.
- AS REQUIRED BY THE GENERIC PERMIT, CONTRACTOR SHALL PREPARE A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) PURSUANT TO ALL REQUIREMENTS OF THE GENERIC PERMIT.
- PURSUANT TO THE PERMIT, CONTRACTOR SHALL MAINTAIN RECORD OF DATES WHEN MAJOR GRADING ACTIVITIES TEMPORARILY OR PERMANENTLY CEASE AND SHALL INITIATE STABILIZATION MEASURES WITHIN 7 DAYS AFTER SUCH TEMPORARY OR PERMANENT CESSATION OF CONSTRUCTION ACTIVITY. STABILIZATION REQUIREMENTS (SOODING WHERE SEVERAL OF THE PLANS, SEEDING AND NATURAL RESEED) APPLY TO ALL AREAS DISTURBED BY CONSTRUCTION, ON-SITE AND OFF-SITE. SEEDING SHALL BE DONE PER THE MANUFACTURER'S RECOMMENDATIONS. AFTER SEEDING EACH AREA SHALL BE MULCHED WITH 400 LBS OF STRAW PER ACRE. IF AREAS SEEDING DO NOT OBTAIN A 70% COVERAGE WITH THE BEST SEEDING, THEN ANOTHER SEED APPLICATION WILL BE REQUIRED TO FILL IN AREAS NOT COVERED IN THE FIRST APPLICATION.
- CONTRACTOR SHALL PROVIDE INSPECTIONS BY QUALIFIED PERSONNEL OF ALL POINTS OF DISCHARGE. DISTURBED AREAS NOT YET FINALLY STABILIZED, STORAGE AREAS EXPOSED TO RAINFALL, STRUCTURAL CONTROLS AND VEHICLES. ACCESS LOCATIONS, INSPECTIONS SHALL BE MADE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM THAT IS 0.5 INCHES OR GREATER.
- CONTRACTOR SHALL MAINTAIN A COPY OF THE SWPPP AT THE SITE FROM THE DATE OF PROJECT INITIATION TO THE DATE OF FINAL STABILIZATION.
- CONTRACTOR SHALL AMEND THE SWPPP WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION OPERATION OR MAINTENANCE THAT MAY HAVE A SIGNIFICANT EFFECT ON THE POTENTIAL FOR ON-SITE EXCESSIVE OR POLLUTANTS, INCLUDING THE ADDITION OF OR CHANGE IN LOCATION OF DISCHARGE POINTS AND REVISION TO CONTROLS WHICH MAY HAVE PROVED TO BE INEFFECTIVE.
- CONTRACTOR SHALL REMAIN RESPONSIBLE FOR OPERATION AND MAINTENANCE OF POLLUTION PROTECTION MEASURES UNTIL CONSTRUCTION HAS BEEN COMPLETED IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT PLANS, CERTIFIED AS SUCH BY THE ENGINEER AND ACCEPTED BY THE (CITY/COUNTY) WHETHER OR NOT CONTRACTOR HAS SUBMITTED A NOTICE OF TERMINATION (NOT) TO FDEP.
- IF CONTRACTOR PREPARES TO DISCHARGE DEWATERING EFFLUENT OFF-SITE, CONTRACTOR IS RESPONSIBLE FOR OBTAINING FDEP GENERIC PERMIT FOR THE DISCHARGE OF PRODUCED GROUNDWATER FROM ANY NON-CONTAMINATED SITE. ACTIVITY IN ACCORDANCE WITH FLORIDA ADMINISTRATIVE CODE 62-601.3000 AND 62-600, AND FLORIDA STATUTES CHAPTER 401, PERMIT REQUIREMENTS CAN BE OBTAINED FROM FDEP AT (407)884-7339 EXT. 3983. THIS PERMIT IS INDEPENDENT OF AND IN ADDITION TO WATER MANAGEMENT DISTRICT PERMITS FOR CONSTRUCTION DEWATERING.
- CONTRACTOR SHALL PROVIDE A DIET ABATEMENT PLAN THAT MAY INCLUDE A GROUND HIGH SCREEN FENCE ALONG THE EAST PROPERTY LINE ADJACENT TO GOLDEN GEM ROAD.

TURBIDITY MONITORING REQUIREMENTS:

DESCRIPTION: TURBIDITY EXPRESSED IN NEPHELOMETRIC TURBIDITY UNITS (NTU).

LOCATION: BACKGROUND SAMPLES SHALL BE TAKEN 200 FEET UPSTREAM OF ANY CONSTRUCTION ACTIVITY WITHIN SURFACE WATERS OF THE STATE.

COMPLIANCE SAMPLES: SHALL BE TAKEN 200 FEET DOWNSTREAM OF THE CONSTRUCTION ACTIVITIES ADJACENT TO OR WITHIN WATERS OF THE STATE.

FREQUENCY: TWICE DAILY, WITH AT LEAST A FOUR HOUR INTERVAL, DURING ALL WORK AUTHORIZED BY THIS PERMIT.

DURATION: MONITORING SHALL BEGIN ON THE FIRST DAY OF CONSTRUCTION FOR ALL ACTIVITIES AND MAY BE DISCONTINUED UPON PERMANENT STABILIZATION OF ALL DISTURBED SOILS.

STANDARDS & REPORTING: THE MONITORING DATA MUST DEMONSTRATE THAT TURBIDITY AT THE COMPLIANCE SITE IS LESS THAN OR EQUAL TO 25 NTUS ABOVE NATURAL BACKGROUND FOR A PERIOD OF 7 CONSECUTIVE DAYS AFTER COMPLETION OF CONSTRUCTION. ALL MONITORING DATA SHALL BE READ AND RECORDED DAILY, AND SUBMITTED TO THE OWNERS AUTHORIZED REPRESENTATIVE (O.A.R.) BY 5:00 P.M. EACH FRIDAY. IF AT ANY TIME THE TURBIDITY EXCEEDS BACKGROUND BY MORE THAN 25 NTUS, ALL CONSTRUCTION ACTIVITIES SHALL BE HALTED. A WRITTEN REPORT SHALL BE SUBMITTED TO THE DISTRICT PERMIT COMPLIANCE DEPARTMENT IN ORLANDO. MONITORING REPORTS SHALL ALSO INCLUDE THE FOLLOWING INFORMATION FOR EACH SAMPLE THAT IS TAKEN:

- TIME OF DAY SAMPLES WERE TAKEN
- WIND DIRECTION
- WIND SPEED
- WATER CONDITIONS
- WIND VELOCITY, AND
- WIND MAP

CORRECTIVE MEASURES: REMEDIAL MEASURES SHALL BE TAKEN IMMEDIATELY TO CORRECT THE PROBLEM. ACTIVITIES SHALL RESUME ONLY WITH THE CONFIRMATION FROM DISTRICT STAFF THAT THE SITUATION HAS BEEN RESOLVED.

Site Erosion Control & Restoration Plan Schedule:

Phase 1: Start of Mass Grading Operation

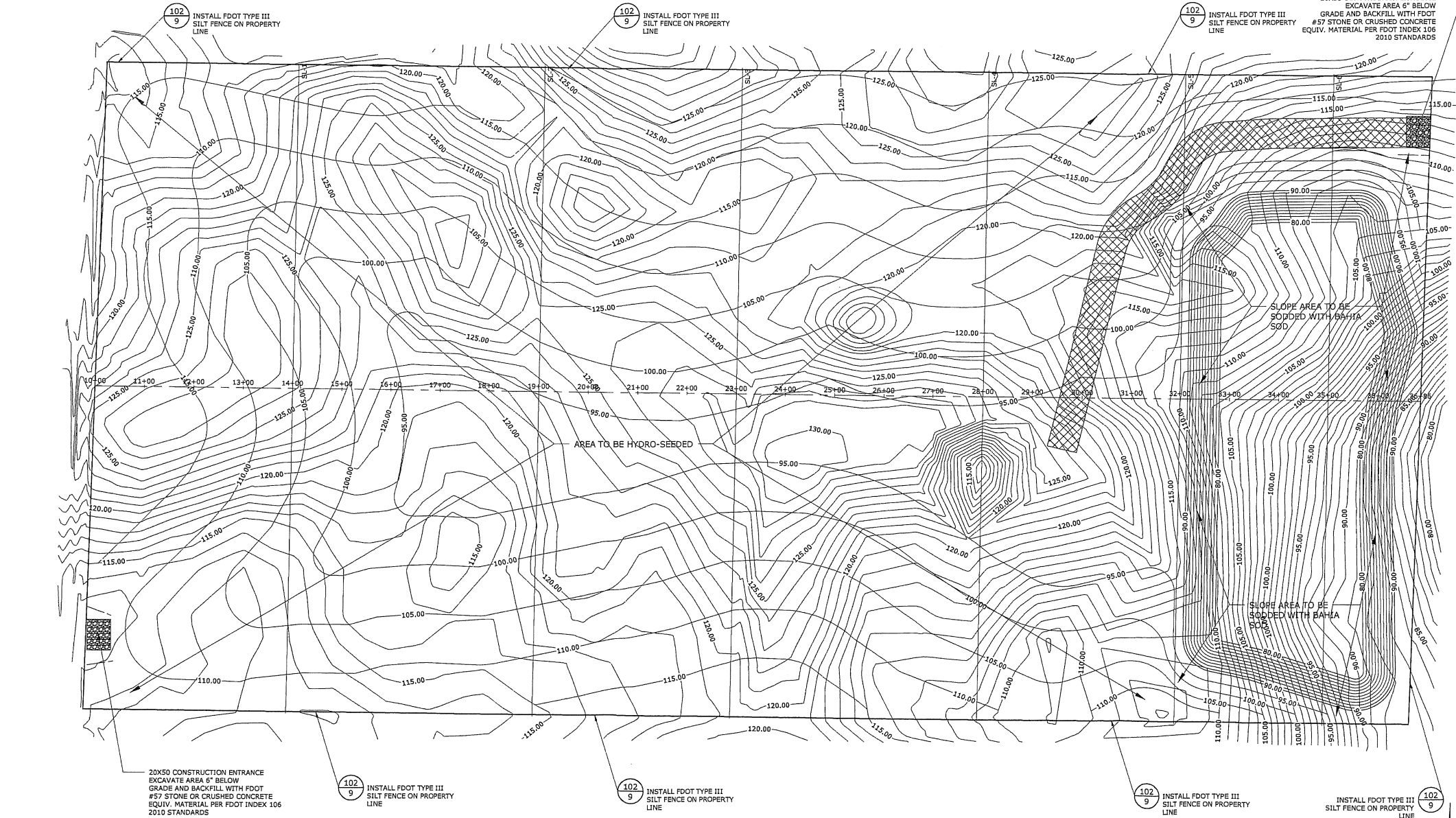
- Establish Silt Fence around the perimeter of the property as shown on this sheet.
- Install Construction entrance erosion control measure as shown on this sheet and in accordance with FDOT index 106 2010 standards.
- Call for inspection of Silt Fence and Construction Entrance prior to starting earthwork operations.
- Clear & Grubb those areas which were not included in the silvicultural harvesting activities.
- Start Mass Grading operation based on the details included with these plans.
- Start Erosion Control monitoring plan based on NPDES requirements and include weekly reporting onsite.
- See the maintenance section for details on repairing or correcting issues with the Erosion Control measures.
- Complete the Mass Grading operation based on the details included with these plans. As-Built elevations shall be provided to the engineer prior to starting

Phase 2:

Phase 2: Completion of Mass Grading & Site Restoration

- At the completion of Mass Grading and sign-off of As-Built by Engineer Contractor to start the restoration Plan. In no case shall this phase of work not start within 5 days of the completion of Phase 1 work.
- All exposed slopes less than or equal to 5% shall be hydroseeded to establish a stand of grass equating to 90% coverage of the area.
- All exposed slopes greater than 5% shall be sodded with Bahia sod including but not limited to pond tie-in slopes, pond berm, pond interior slopes and all other areas with steep slopes.
- All perimeter silt fencing should be inspected and corrected after seeding and sodding the exposed areas.
- Once the site has achieved the required coverage the Contractor shall schedule a site visit with the City of Apopka staff and the Engineer to review the restoration work and insure completion.

Phase 3: Site Maintenance and Oversight



NOTES:

- ALL RIGHTS-OF-WAY AND DISTURBED AREAS ON ADJACENT PARCELS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION PRIOR TO COMPLETION OF MASS GRADING.
- ANY STOCKPILES SHALL BE A MINIMUM OF 200' FROM GOLDEN GEM ROAD AND 100' FROM ALL PROPERTY LINES OR WETLAND BUFFER LINES.
- THE SITE SHALL BE STABILIZED FOLLOWING GRUBBING, CLEARING, EARTHWORK OR MASS GRADING TO ESTABLISH A DENSE STAND OF GRASS OR SHALL INCORPORATE OTHER APPROVED BMP'S ON ALL DISTURBED AREAS IF DEVELOPMENT DOES NOT BEGIN WITHIN SEVEN (7) DAYS. FINAL STABILIZATION SHALL ACHIEVE A MINIMUM OF 70% COVERAGE OF ALL DISTURBED AREAS AND SHALL INCLUDE A MAINTENANCE PROGRAM TO ENSURE MINIMUM COVERAGE SURVIVAL AND OVERALL SITE STABILIZATION UNTIL SITE DEVELOPMENT.
- GROUNDWATER FROM DEWATERING OPERATIONS INTO THE COUNTY'S MS-4 SYSTEM, THEY SHALL OBTAIN AN FDEP PERMIT FOR DISCHARGE OF PRODUCED GROUNDWATER FROM NON-CONTAMINATED SITES. COPIES OF THE PERMIT NOI AND REQUIRED TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW.

- Monthly the site shall be inspected by the Owner or the Owner's representative to review the condition of the site. Items to be reviewed include the silt fence, pond slopes and general site condition noting any items of concern. Issues such as broken or removed silt fence, rill erosion, wash-outs or exposed dirt should be identified.
- Any silt fence that is not functioning shall be replaced with new fencing and not be attempting to reinstall the collapsed or broken fencing.
- Erosion & Wash-outs shall be filled back in and Bahia sod placed over the back-filled area covering the area plus 20% to minimize recurrence.
- Exposed dirt or missing sod on slopes shall be replaced to include an area 20% larger than the original area.
- Any recurrence of wash-outs or sod washing from slopes shall be corrected by filling the area, compacting the soil with either a roller or hand tamping device and then sod shall be staked in place covering the area plus 20%.
- Any issues outside those listed above or recurrence of issues after following the recommended procedures should be brought to the Engineer's attention for review and specific recommendation for remediation.

G. L. SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

Final Mass Grading Plan

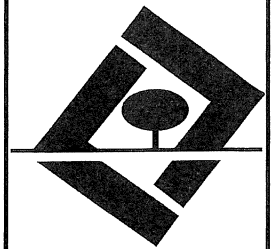
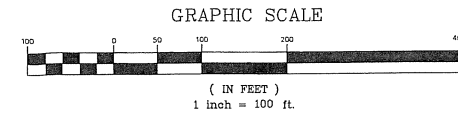
SWPPP

Plans not valid unless Signed, Dated and Sealed below.

GEORFREY L. SUMMITT, P. E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-



G L SUMMITT
 ENGINEERING INC
 Office: Lake Mary
 3667 Simonton Place
 Lake Mary, Florida 32746
 phone: 407-323-0705
 fax: 407-992-8650
 www.GLSeng.com

Cantero Holding, LLC
 12601 Avalon Road
 Winter Garden, FL 34787
 407-239-4565
 407-239-6011

Golden Gem Estates
Phase 1A
 City of Apopka, Florida

**Final Mass
 Grading Plan**

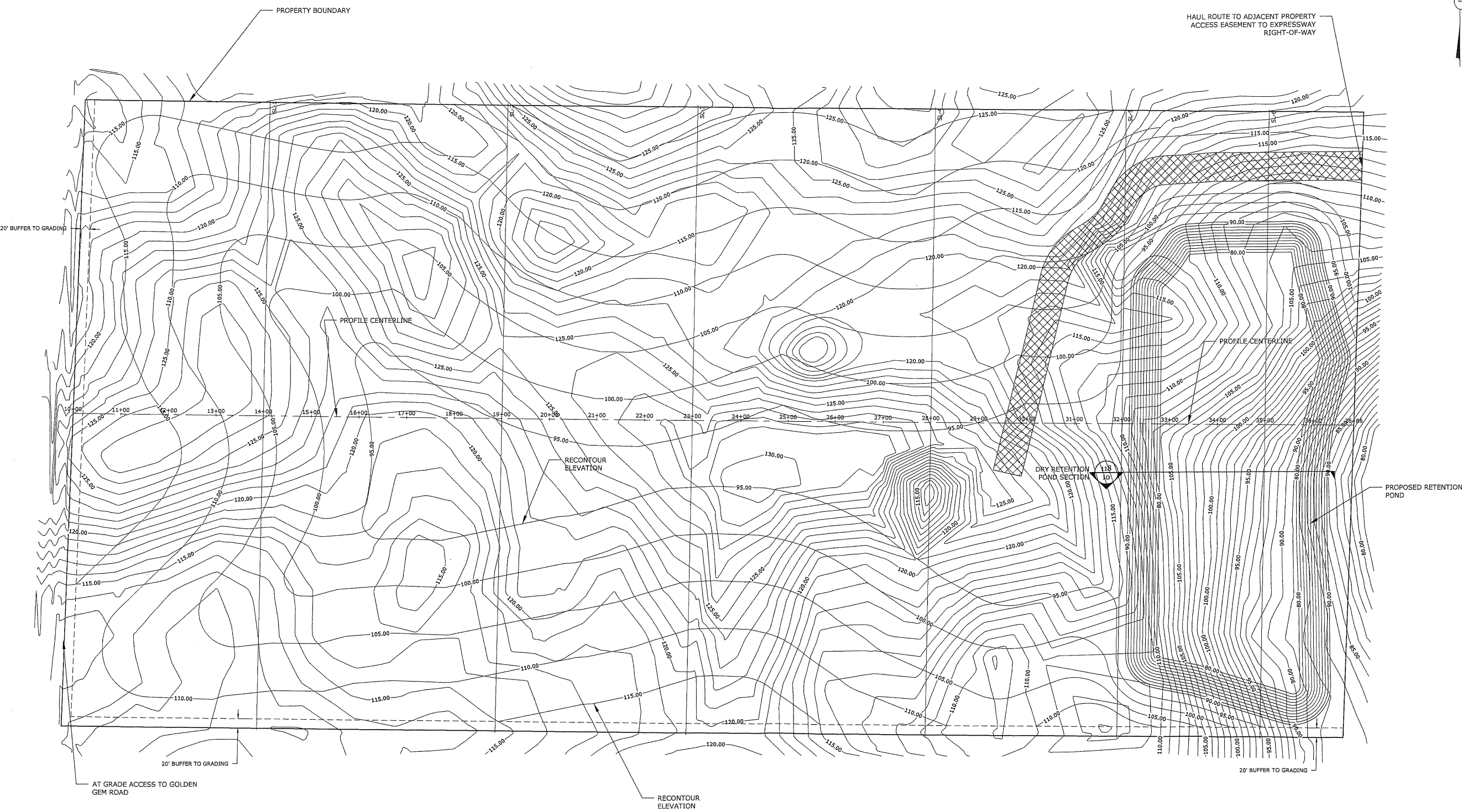
**Grading &
 Drainage Plan**

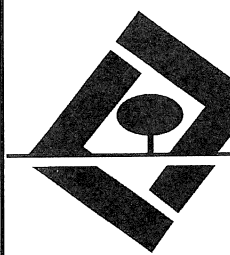
Plans not valid unless Signed,
 Dated and Sealed below.

 GEOFFREY L. SUMMITT, P.E.
 Date: June 24, 2015
 FL Registration #28775
 Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
5 OF 10





G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

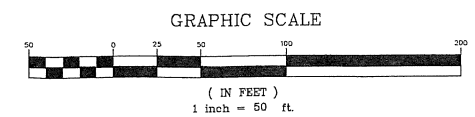
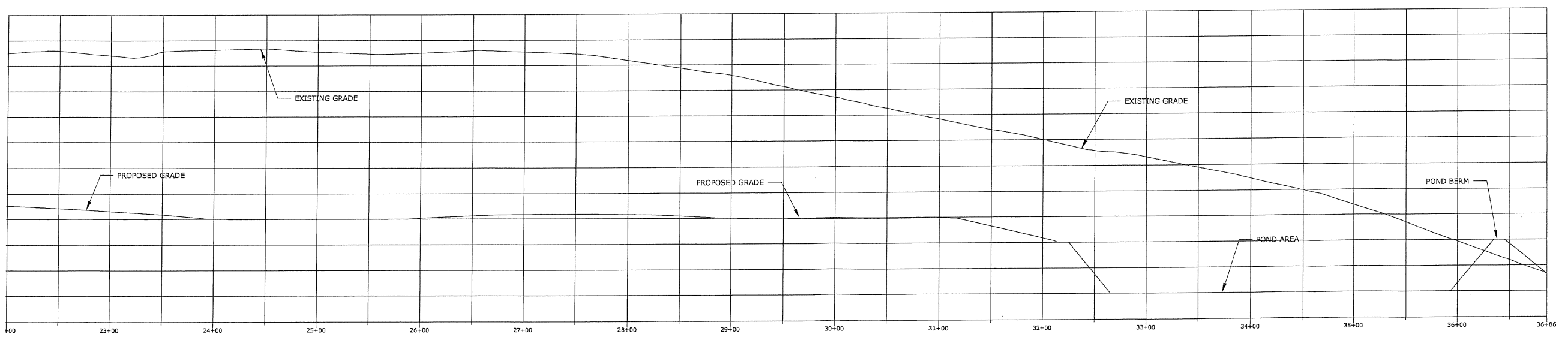
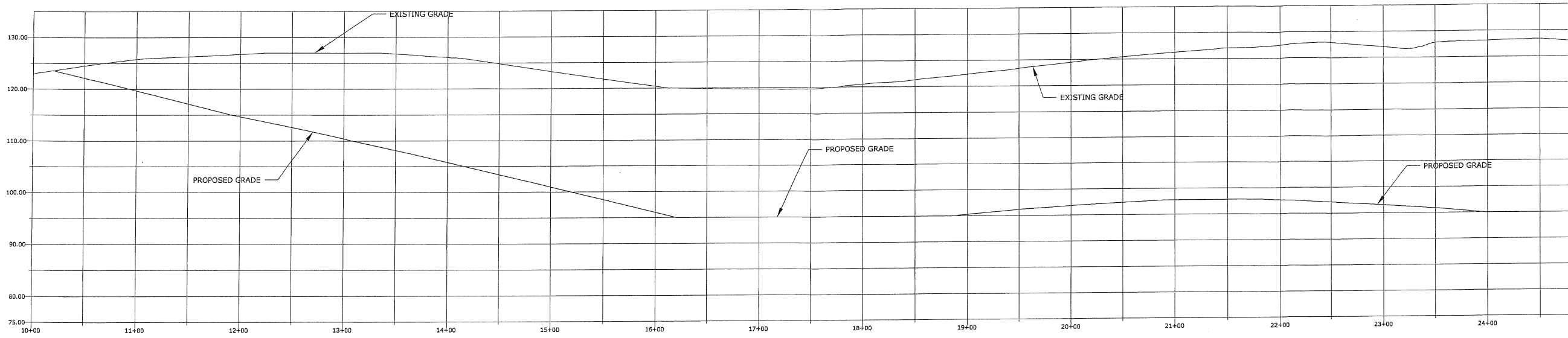
Final Mass
Grading Plan

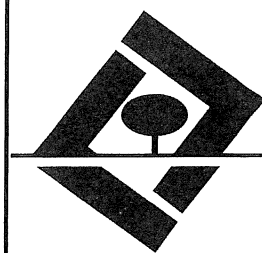
East West
Section
Profile

Plans not valid unless Signed,
Dated and Sealed below.
GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
6 OF 10





G L SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

**Final Mass
Grading Plan**

**North South
Section
Profiles**

Plans not valid unless Signed,
Dated and Sealed below.

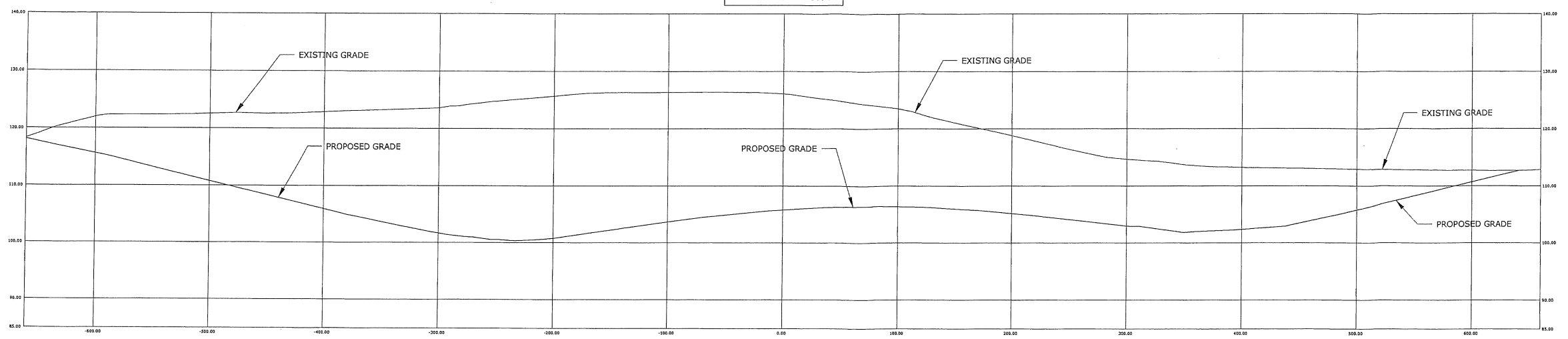
GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #458775
Certificate of Authorization #296665

Revisions

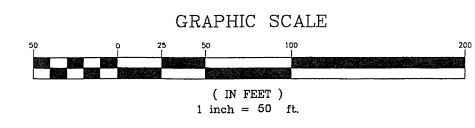
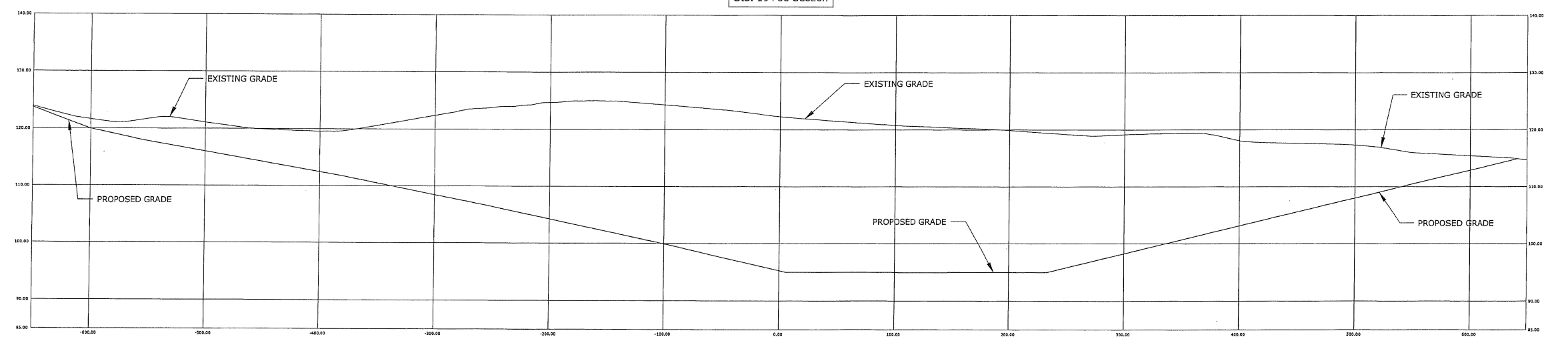
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
7 OF 10

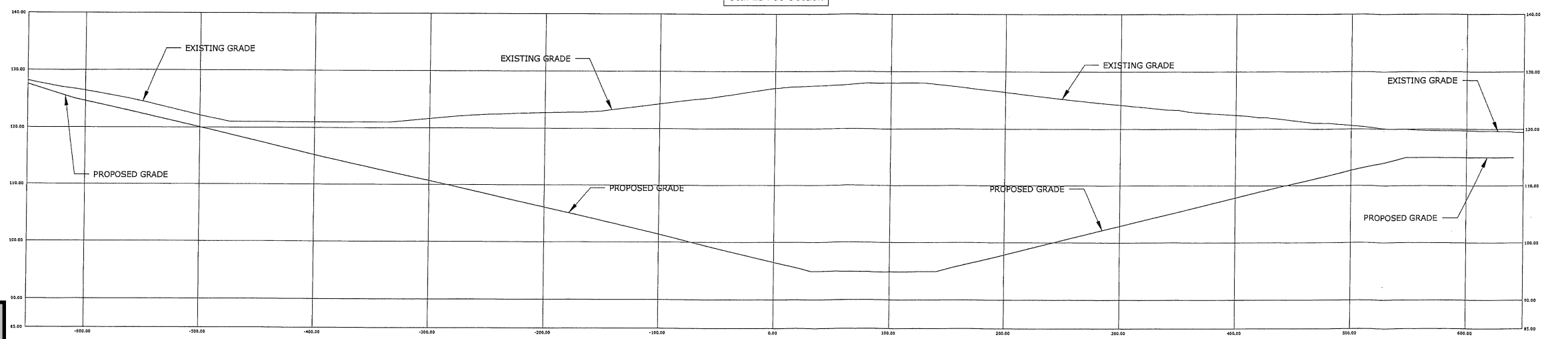
Station 14+00 Section

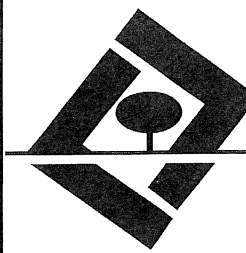


Sta. 19+00 Section



Sta. 23+00 Section





G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

**Final Mass
Grading Plan**

**North South
Section
Profiles (2)**

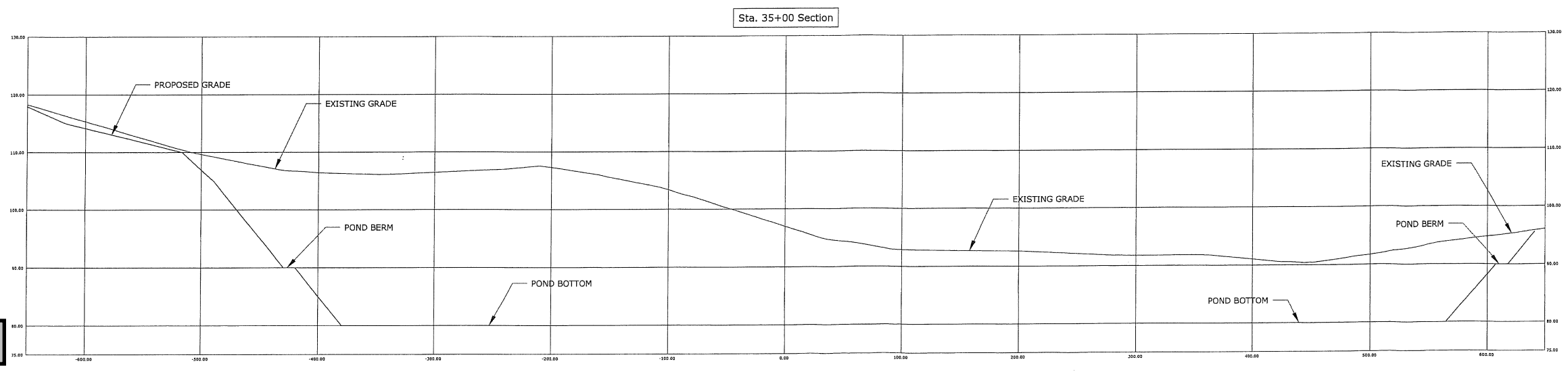
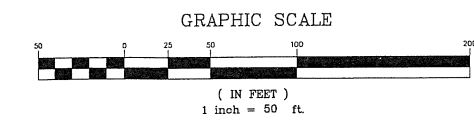
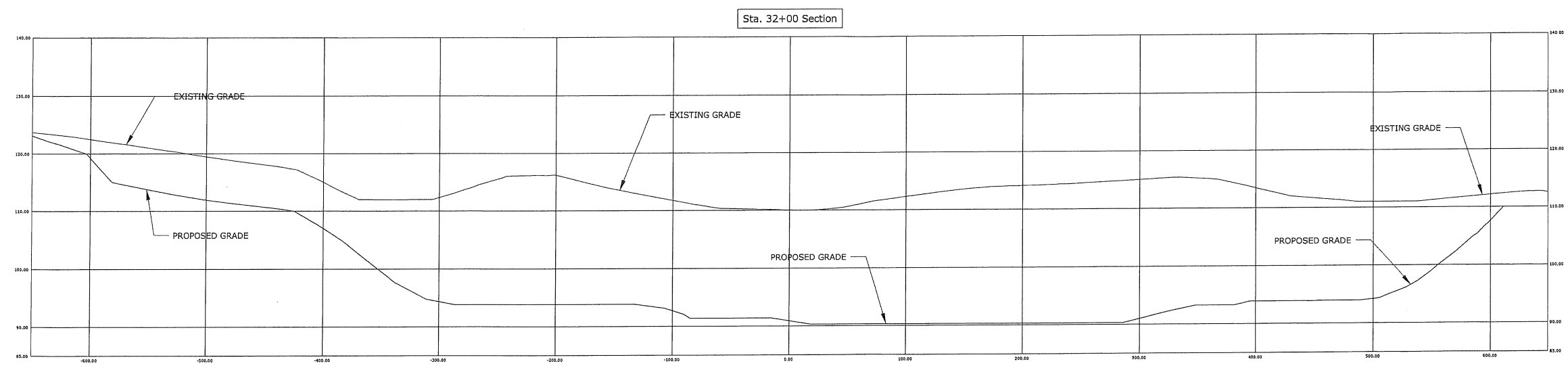
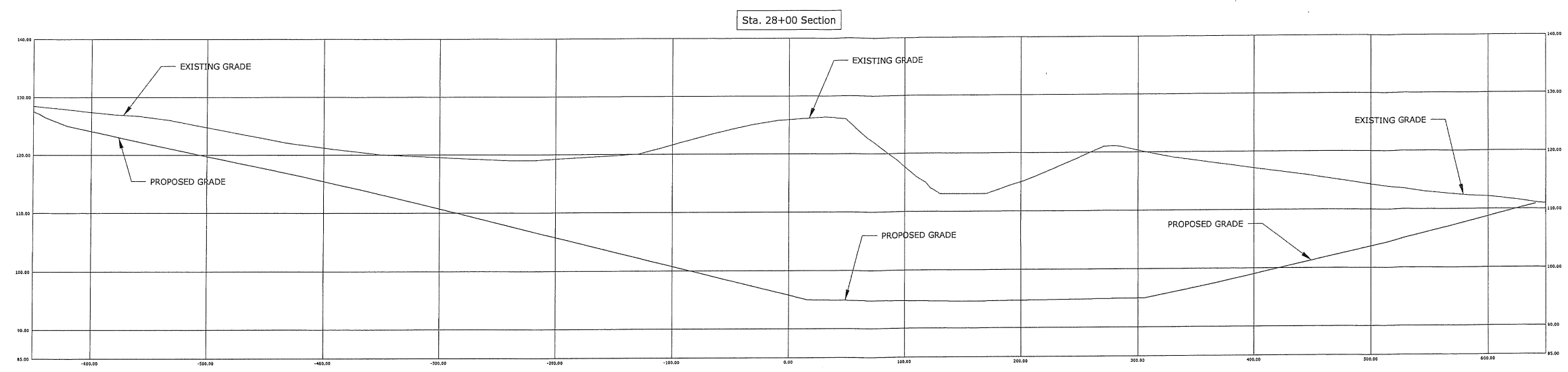
Plans not valid unless Signed,
Dated and Sealed below.

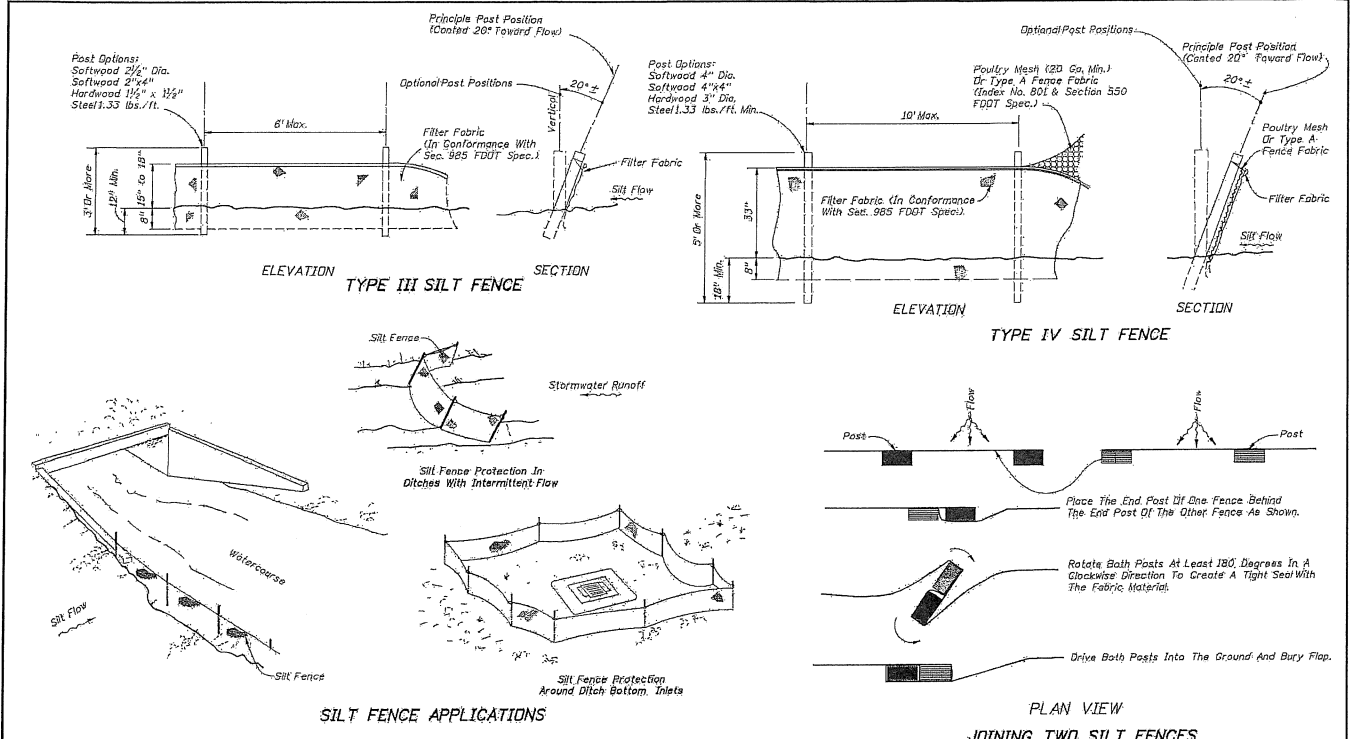
GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #296665

Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
8 OF 10





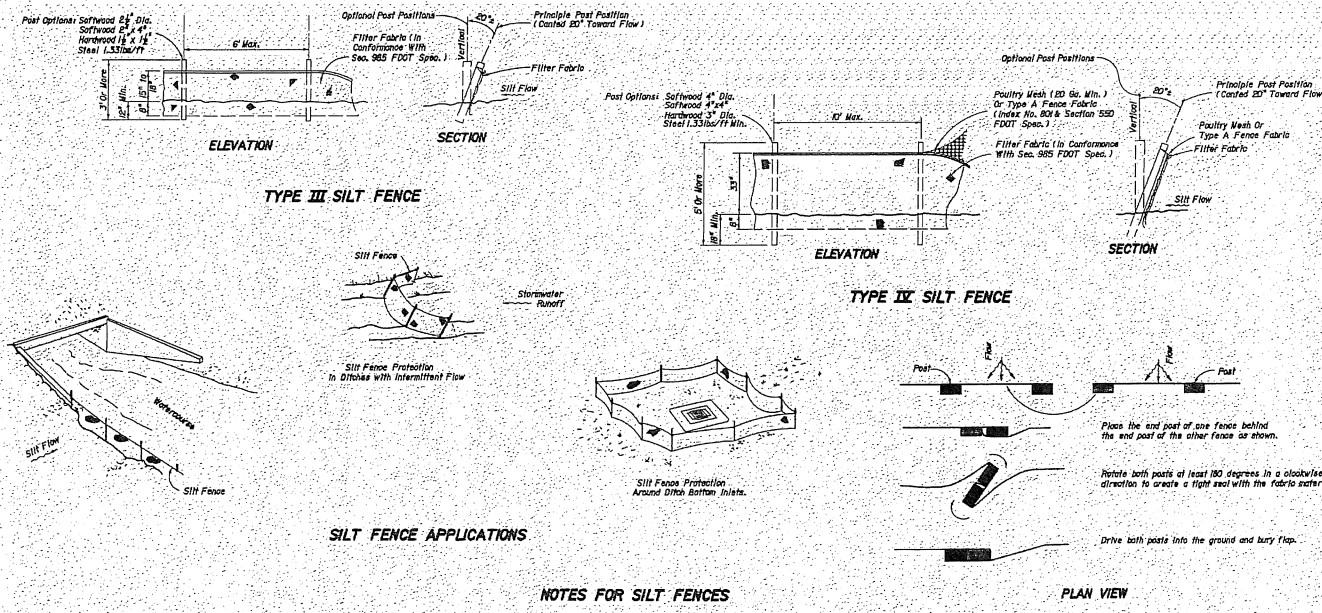
SILT FENCE APPLICATIONS

NOTES FOR SILT FENCES

- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
- Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 2:1 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
- Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
- Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
- Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (L.F.).

2008 FDOT Design Standards
TEMPORARY EROSION AND SEDIMENT CONTROL
 Last Revision: 07/01/05
 Sheet No: 3 of 3
 Title No: 102

100 TEMPORARY EROSION & SEDIMENT CONTROL N.T.S.



SILT FENCE APPLICATIONS

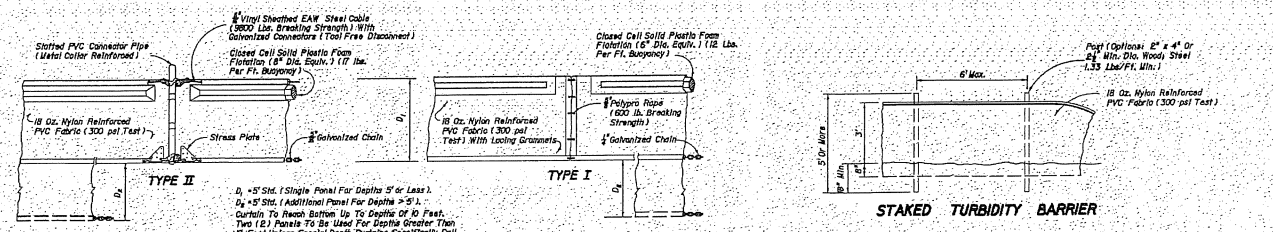
NOTES FOR SILT FENCES

- Type III Silt Fence to be used at most locations. Where used in ditches, the spacing for Type III Silt Fence shall be in accordance with Chart 1, Sheet 1.
- Type IV Silt Fence to be used where large sediment loads are anticipated. Suggested use is where fill slope is 2:1 or steeper and length of slope exceeds 25 feet. Avoid use where the detained water may back into travel lanes or off the right of way.
- Do not construct silt fences across permanent flowing watercourses. Silt fences are to be at upland locations and turbidity barriers used at permanent bodies of water.
- Where used as slope protection, Silt Fence is to be constructed on 0% longitudinal grade to avoid channelizing runoff along the length of the fence.
- Silt Fence to be paid for under the contract unit price for Staked Silt Fence, (L.F.).

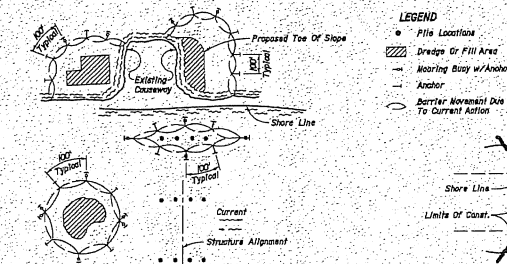
102 EROSION CONTROL /SILT FENCE DETAIL

- Standard structure bottoms 4'-0" diameter and smaller (All A) and 2'-6" square (All B) are designated Type R. Larger standard structure bottoms are designated Type J. Risers are permitted for all structures.
- Walls of circular structures (Alternative A) constructed in place may be rectangular structures (Alternative B) shall be constructed of reinforced concrete only.
- Wall thickness and reinforcement are for either reinforced cast-in-place or precast concrete units except that precast concrete units may be finished with walls in accordance with either A.S.T.M. C-478 (up to 96" diameter) or A.S.T.M. C-776 (over 96" diameter). B wall, modified where the vertical steel edge area is placed in the center one-third of the wall.
- Top and floor slab thickness and reinforcement are for precast and cast in place construction. Top and floor slabs shall be cast in place concrete. Concrete as specified in A.S.T.M. C-318 (4000 psi) may be substituted in lieu of cast-in-place concrete in precast items manufactured in plants under the Standard Operating Procedures for the inspection of precast drainage products.
- All reinforcement shall be A.S.T.M. A615, Grade 60 or 65 KSI welded wire fabric, unless otherwise specified.
- Structure bottoms may be used in conjunction with curb inlet tops Types 1, 2, 3, 4, 5, 6, 8, 9, and 10, and any manhole or junction box unless otherwise shown in the plans or other standard drawings. All structure bottoms may be used in conjunction with curb inlet Types 7 & 8, 9" or any other inlet unless otherwise shown in the plans or other standard drawings.
- Rectangular structures may be rotated as directed by the Engineer in order to facilitate connections between the structure walls and storm sewer pipes.
- Except when ACI hooks are specifically required, embedment hooks in the top and bottom slabs may be replaced with straight embedments or peripheral reinforcement in accordance with the reinforcement detail shown under "Rebar Straight End Embedment or Peripheral Reinforcement in Lieu of ACI Standard Hooks For Top And Bottom Slabs", Index No. 201, Sheet 3 of 6.
- All steel bars shall have 1/2" minimum cover unless otherwise shown. Horizontal steel in rectangular structures shall be lapped a minimum of 24 bar diameters at corners.
- The corner fillets shown are necessary for rectangular structures used with circular risers and inlet ducts and used on dikes with rectangular risers, inlet and inlet ducts. Fillets will be required in lieu of the bottom step of the A.I. & R. riser when used with the A.I. & R. box. Each fillet shall be reinforced with 2-#5 bars.
- Inlet through, riser or manhole tops shall be secured to structures as shown on Index No. 201.
- Structures with depths over 14' are to be checked for foundation by designer of project drainage.
- Units larger than specified standard may be substituted at the contractor's option when these units will not cause or increase the severity of silt conflicts. Such larger units shall be furnished at the additional cost to the Department. Larger Alternative A units cannot replace Alternative B units without approval of the Engineer. This note applies to this index only.
- For manhole and junction box tops, for frames and covers, and for supplementary details see Index No. 201.

101 TYPE 'P' & 'J' STRUCTURE BOTTOMS N.T.S.



FLOATING TURBIDITY BARRIERS



- NOTES:
- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
 - Number and spacing of moorings dependent on current velocities.
 - Deployment of barrier around pile locations may vary to accommodate construction operations.
 - Navigation may require segmenting barrier during construction operations.
 - For additional information see Section 04 of the Standard Specifications.

TURBIDITY BARRIER APPLICATIONS

G L SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSummitt.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

Final Mass Grading Plan

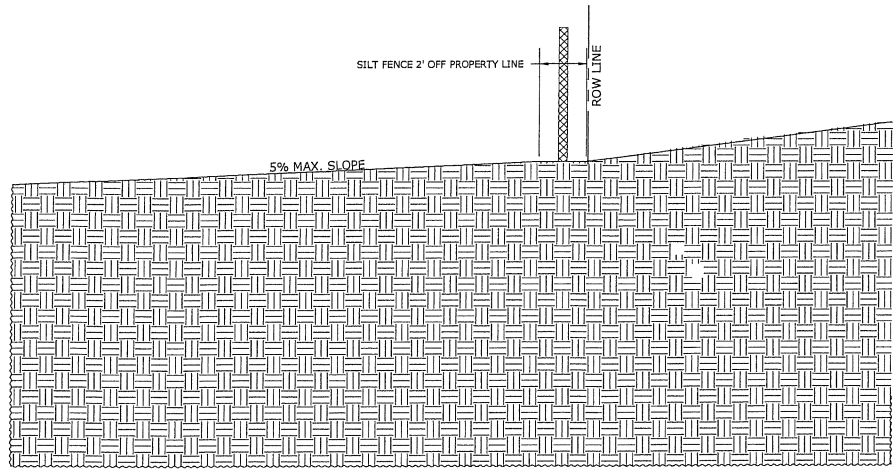
General Details 1

Plans not valid unless Signed, Dated and Sealed below.

GEORGEY L. SUMMITT, P.E.
 Date: June 24, 2015
 FL Registration #488775
 Certificate of Authorization #296665

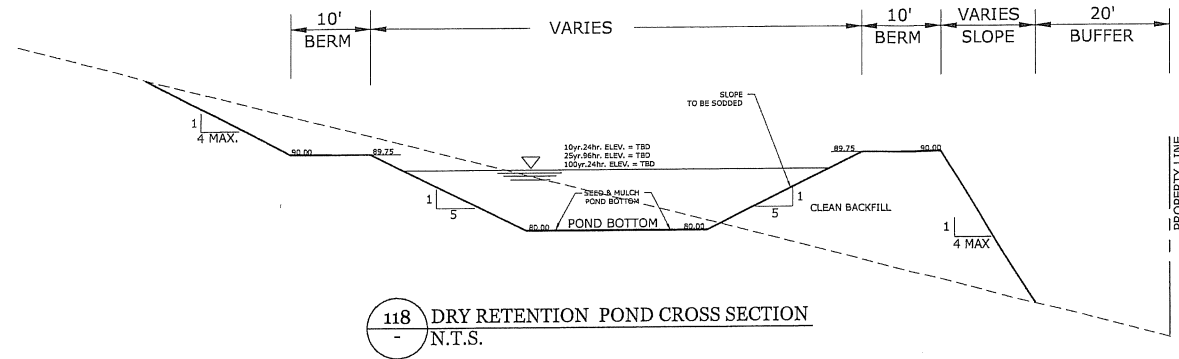
Revisions	
NO.	DESCRIPTION
1	
2	
3	
4	
5	
6	
7	
8	
9	
10	

SHEET NUMBER
9 OF 10

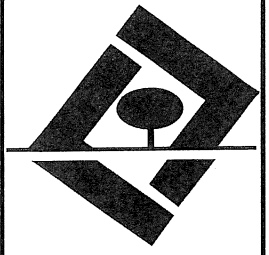


NOTE:
* SEE GRADING PLANS FOR TOP ELEVATIONS.

117 GOLDEN GEM ROAD GRADING SECTION
- N.T.S.



118 DRY RETENTION POND CROSS SECTION
- N.T.S.



G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1A
City of Apopka, Florida

**Final Mass
Grading Plan**

**General
Details 2**

Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration # 458775
Certificate of Authorization #296665

Revisions		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
10 OF 10

Backup material for agenda item:

3. PRELIMINARY DEVELOPMENT PLAN - Golden Gem Estates, Phase 1B – owner/applicant Cantero Holdings, LLC, c/o Jose Cantero; engineer is GL Summit, c/o Geoffrey Summit, P.E., for the property generally located south of Kelly Park Road, north of the Ponkan Road and east of Golden Gem Road. (Parcel ID Nos.: 24-20-27-0000-00-097, 24-20-27-0000-00-98, 24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102, 24-20-27-0000-00-100-103, 24-20-27-0000-00-104, 24-20-27-0000-00-105)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	July 28, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity Map
<input type="checkbox"/> OTHER: Preliminary Development Plan		Site/Landscape Plan

SUBJECT: PRELIMINARY DEVELOPMENT PLAN – GOLDEN GEM ESTATES - PHASE 1B

Request: RECOMMEND APPROVAL OF THE PRELIMINARY DEVELOPMENT PLAN FOR GOLDEN GEM ESTATES, PHASE 1B, OWNED BY CANTERO HOLDINGS, LLC. (PARCEL ID NUMBERS: 24-20-27-0000-00-097, 24-20-27-0000-00-098, 24-20-27-0000-00-100, 24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102, 24-20-27-0000-00-103, 24-20-27-0000-00-104, 024-20-27-0000-00-105)

SUMMARY

OWNER/APPLICANT: Cantero Holdings, LLC., c/o Mr. Jose Cantero

ENGINEER: GL Summit., c/o Goeffrey Summit, P.E.

LOCATION: South of Kelly Park Road, north of the Ponkan Road and east of Golden Gem Road

EXISTING USE: Planted Pine Site

FUTURE LAND USE: Rural Settlement (1du/ac)

CURRENT ZONING: AG

PROPOSED DEVELOPMENT: 12 Single Family Residential Subdivision\Mass Grading of Final Development Plans

TRACT SIZE: 80 +/- Acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 80 Units
PROPOSED: 12 Units (Phase 1B)

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Mixed Use	ZIP	Vacant Land\Planted Pine Trees
North (County)	Rural (1du/10 ac/agricultural)	A-1	Foliage Nursery
East (County)	Rural (1du/10 ac/agricultural)	A-2	Manufactured Home\Grazing Land
South (City)	Rural Settlement(1du/ac)/Conservation	ZIP	Manufactured Home\Planted Pine Trees
West (County)	Rural (1du/10 ac/agricultural)	A-1	Construction, Debris, and Class 3 Land Fill

ADDITIONAL COMMENTS: The proposed mass grading plan allows site grading to occur consistent with the ground elevations and contours established within the Golden Gem Estates-Phase 1B Preliminary Development Plan. All required permits from the St. Johns Water Management District and other state agencies must be obtained by the applicant prior to commencing any grading activities. Planted pine has already been harvested from the subject property, leaving few canopy trees.

HAUL ROUTE: There has been a temporary access easement agreement established with the abutting property owner to the east, granting direct access to Wekiva Parkway (S.R. 429) as illustrated on Sheet 4, of the Mass Grading Plan.

ENVIRONMENTAL: A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any grading or further site construction activity.

TREE PROGRAM: The planted pine located on this site is exempt from the arbor mitigation requirements and was harvested for silviculture purposes. Pine trees have already been harvested from the site. The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program, if applicable.

LANDSCAPING/BUFFERS: Per city code, a six-foot brick wall within a ten-foot landscape buffer is required along Golden Gem Road. However, a brick wall will be out of character with the surrounding landscape and environment. In lieu of a brick wall, a 50-foot wide landscape buffer is proposed. The City owns acres to the south, the landfill is located to the west, and large lot residential uses occur to the south and north along Golden Gem Road. Further north along Golden Gem Road, the Wekiva Parkway Interchange Vision Plan Area is just to the north along Golden Gem Road, and it promotes a pedestrian-oriented development theme. Further, it is unreasonable to believe that a 12 lot residential development, which could be trailer homes, can financially support maintenance and replacement of a brick wall at such time it deteriorates or is damaged.

SCHOOL CAPACITY REPORT: No development activity beyond the grading activities approved within the Mass Grading Plan can occur until such time that a concurrency mitigation agreement or letter has been approved by OCPS. The applicant has applied to OCPS for this agreement. The developer has submitted a school capacity determination application to OCPS. The schools designated to serve this community are the following: Zellwood Elementary, Wolf Lake Middle and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

PUBLIC HEARING SCHEDULE:

July 28, 2015 – Planning Commission (5:01 pm)

August 5, 2015 – City Council (1:30 pm)

WAIVERS

1. **Waiver Request #1:** Section 2.02.02.F., LDC. Request to waive requirement for a 1,400 foot long, six foot high brick wall along Golden Gem Road. Applicant requests a waiver to allow a planted 50' landscape buffer in lieu of the construction of a screen wall.

DRC recommendation -- DRC supports this waiver request for the following reasons: (a) A homeowners association with only twelve homes is unlikely to financially maintain or replace a 1,400 foot long brick wall; (b) a 50 foot wide landscape buffer will be provided in lieu of a 10 foot wide buffer, and will suffice to provide sufficient screen and distance from the road, and residential setbacks will be measured from the buffer easement or tract line; and (c) an active landfill is located to the west of Golden Gem Road.

2. **Waiver Request #2:** Section 6.02.07, LDC. Request to waive the requirement for subdivision roadways to have “F” curb and closed drainage systems. Applicant requests a waiver to allow for the use of a “Rural” roadway section utilizing swale drainage and no raised curb.

DRC recommendation -- DRC supports the waiver because the character of the subdivision is large-lot and this waiver has been applied to other similar residential developments such as Bluegrass Estates.

3. **Waiver Request #3:** Section 6.04.01., LDC. Request to waive the requirement for all development to connect to City water and sewer. Applicant requests a waiver to allow the use of individual lot wells and septic systems in lieu of connecting to the City system.

DRC recommendation -- DRC does not support this waiver because policy within the City's Comprehensive Plan requires that central water and sewer must be provided to the site, consistent with the intent of the outcome of regional actions emerging from the Wekiva River Basin Protection Study. While the Land Development Code allows for the use of septic tanks, the standard is inconsistent with the below Policy of the Comprehensive Plan.

Policy 1.5.9, Infrastructure Element of the Comprehensive Plan states:

“The use of septic tanks for new development may be undertaken on an interim basis, not to exceed five years, in cases where central sewer improvements necessary to serve the proposed development are scheduled for construction in the adopted Capital Improvements Program within that five year timeframe. The approval for and conditions of the use of septic tanks on an interim basis shall be at the sole discretion of the City.”

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Golden Gem Estates Ph.1A – Preliminary Development Plan for the property owned by Cantero Holding, LLC

Planning Commission Recommendation: The role of the Planning Commission for this development application, is to advise the City Council to approve or deny based on the consistency with the Comprehensive Plan and Land Development Code which includes the following items:

1. Recommend approval of Waiver Request number 1.
2. Recommend approval of Waiver Request number 2.
3. Recommend denial of Waiver Request number 3.
4. Recommend approval of the Golden Gem Estates, Phase 1B, property owned by Cantero Holding, LLC.

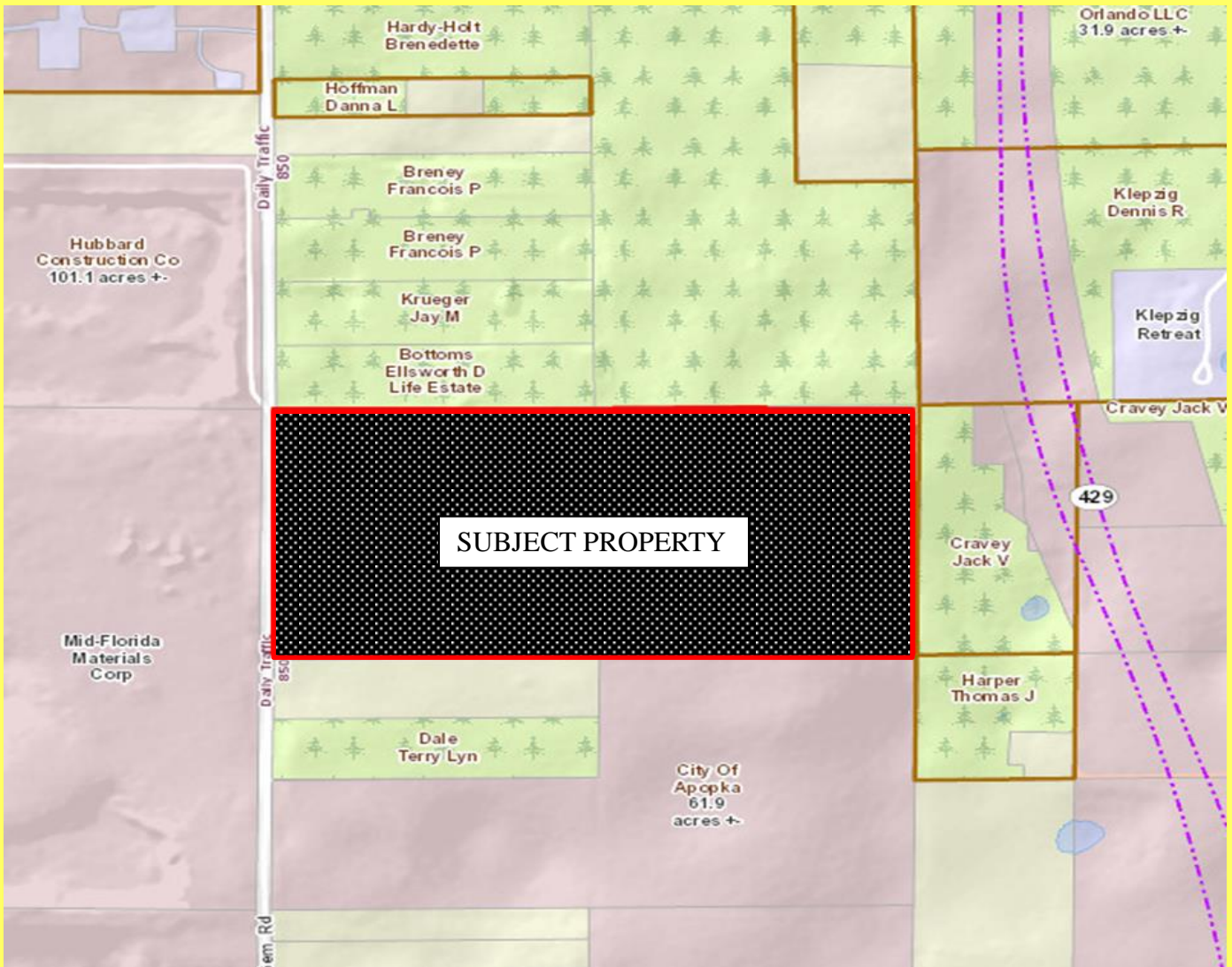
Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



**Golden Gem Estates, Phase 1A
Preliminary Development Plan
Cantero Holdings, LLC., c/o Mr. Jose Cantero
GL Summit., c/o Goeffrey Summit, P.E.
Proposed Maximum Development - 80 Units
80.00 +/- Total Acres**

**Parcel ID #s: 24-20-27-0000-00-097, 24-20-27-0000-00-098, 24-20-27-0000-00-100,
24-20-27-0000-00-100, 24-20-27-0000-00-101, 24-20-27-0000-00-102,
24-20-27-0000-00-103, 24-20-27-0000-00-104, 024-20-27-0000-00-105**

VICINITY MAP

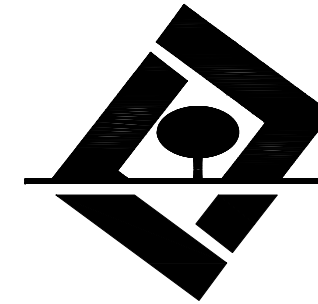


Golden Gem Estates Phase 1B Preliminary Development Plan

City of Apopka Florida Parcel I.D. # 24-20-27-0000-00-097,98,100-105

for
**Cantero
Holdings
LLC**

by



G L SUMMITT
— ENGINEERING INC —

Code #	Code Requirement	(V/W)	Request	Justification
2.02.02.F	Requirement to install a screen wall along frontage	W	Request a waiver to the code to utilize a planned 50' landscape buffer in lieu of construction of screen wall	The small size of the subdivision would make it unfeasible for the HOA to maintain the wall over time
6.02.07	Requirement for subdivision roadways to have "F" curb & closed drainage systems	W	Request a waiver to the code to allow for the use of a "Kurar" roadway section utilizing swale drainage and no raised curb	The proposed development is designed as a large estate community and the inclusion of raised curb and closed drainage would provide a more "Urban" feel to the community which is the opposite of development concept
6.04.01.A3&5	Requirement for all development to connect to city water & sewer	W	Request a waiver to the code to allow the use of individual lot wells & septic system in lieu of connecting to the city system	The small size of the community and large lots doesn't justify the cost of installing the utility utilities considering the city is requiring large mains to meet the master plan requirements and although the city cost share for use this would only be a small fraction of the actual cost. Section 6.01.00.D of the code allows individual wells and septic tanks for lots 1 acre or larger

NOTE:

1. A PERMIT IS REQUIRED FROM FFWCC FOR REMOVAL OR RELOCATION OF GOPHER TORTOISES PRIOR TO START OF ANY SITE CONSTRUCTION.
2. THESE CONSTRUCTION PLANS WERE PREPARED IN ACCORDANCE WITH THE MANUAL OF UNIFORM STANDARDS FOR DESIGN, CONSTRUCTION AND MAINTENANCE FOR STREETS AND HIGHWAYS, FDOT GREEN BOOK, CITY OF APOPKA AND THE ORANGE COUNTY ROADWAY SPECIFICATIONS.



Vicinity Map



Drawing Index

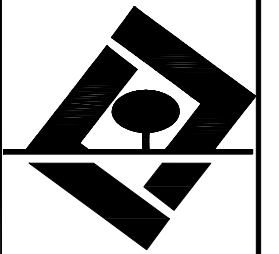
No.	Title	Revised
1	Coversheet	06-24-15
2	Symbols & Abbreviations	06-24-15
3	Existing Conditions	06-24-15
4	Overall Site Plan	06-24-15
5	Detailed Site Plan	06-24-15
6	Paving & Drainage Plan	06-24-15
7	Landscape Plan	06-24-15
8	Landscape Details	06-24-15
9-10	General Details	06-24-15

Project Team

<p>Owner Cantero Holdings, LLC 12601 Avalon Rd. Winter Garden, FL 34787 Ph: 407-239-4565 Fx: 407-239-6011</p>	<p>Surveyor Ralph Thomas Snow 2624 Bent Hickory Circle Longwood, FL 32779 Ph: (407) 701-6101 Fx:</p>
	<p>Civil Engineer G L Summitt Engineering, Inc. 3667 Simonton Place Lake Mary, FL 32746 Ph: (407) 323-0705 Fx: (407) 992-8630</p>
	<p>Landscape Architect Ravensdale Planning & Design, Inc. 703 Greens Ave. Winter Park, FL 32789 Ph: (407) 647-1213 Fx:</p>

Utilities

<p>Drinking Water City of Apopka 150 East 5th St. Orlando, FL 32703 Ph: (407) 703-1727 Fx: (407) 703-1630</p>	<p>Sanitary Sewer City of Apopka 150 East 5th St. Orlando, FL 32703 Ph: (407) 703-1727 Fx: (407) 703-1630</p>
<p>Garbage Disposal City of Apopka 150 East 5th St. Orlando, FL 32703 Ph: (407) 703-1727 Fx: (407) 703-1630</p>	<p>Reclaim Water City of Apopka 150 East 5th St. Orlando, FL 32703 Ph: (407) 703-1727 Fx: (407) 703-1630</p>



G L SUMMITT
— ENGINEERING INC —
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8630
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road

Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1B
City of Apopka, Florida

Preliminary
Development Plan

CoverSheet

Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER

1 OF 10

ABBREVIATIONS

A	AREA ANCHOR BOLT ABANDON(ED) ACRE(S) ACRE FOOT/FEET ASBESTOS CEMENT PIPE ADDITIONAL ADT AVERAGE DAILY TRAFFIC AL ALUMINUM ALT ALTERNATE AM BEFORE NOON AMP AMPERE(S) APPROX APPROXIMATE ARV AIR RELEASE VALVE ARVV AIR RELEASE VACUUM VALVE ASH ASPHALT ASSY ASSEMBLY AVE AVENUE AVG AVERAGE AZ AZIMUTH	F	FRAME AND COVER FLOOR DRAIN FOUNDATION FLORIDA DEPARTMENT OF TRANSPORTATION FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FURNISH AND INSTALL FIGURE FIN FINISHED FIT FITTING FL FENCE LINE FLR FLOOR FLEX FLEXIBLE FLG FLANGE FM FORCE MAIN FND FOUND FPH FEET PER HOUR FPM FEET PER MINUTE FPS FEET PER SECOND FT FOOTING	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE PROFILE GRADE POINT POINT OF INTERSECTION PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT POWER POLE PHONE RISER POINT OF REVERSE CURVATURE PRESSURE PROJECT PROPOSED POINT OF REVERSE VERTICAL CURVE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY POLYVINYL CHLORIDE PAVEMENT POWER
B	BACKFLOW PREVENTER BLD BUILDING BLVD BOULEVARD BM BENCH MARK BND BOUNDARY BO BLOWOFF BOC BACK OF CURB BOT BOTTOM BRG BEARING BS BOTTOM OF SLOPE BV BUTTERFLY VALVE	G	GAL GALLON GALV GALVANIZED GM GAS MAIN GPD GALLONS PER DAY GPH GALLONS PER HOUR GPM GALLONS PER MINUTE GPS GALLONS PER SECOND GRD GROUND/GRADE GSP GALVANIZED STEEL PIPE GV GATE VALVE GV&B GATE VALVE AND BOX GW GUY WIRE GWT GROUND WATER TABLE	Q	FLOW RATE
C	CAP CAPACITY CB CATCH BASIN CC CENTER TO CENTER CEM CEMENT CF CUBIC FEET CFM CUBIC FEET PER MINUTE CFS CUBIC FEET PER SECOND CK&G CURB AND GUTTER CI CAST IRON CIP CAST IRON PIPE CJ CONSTRUCTION JOINT CL CENTER LINE CL/L CONCRETE LIGHT POLE CLR CLEARANCE CLS CLASS CM CONCRETE MONUMENT CMP CORRUGATED METAL PIPE CMPA CORRUGATED METAL PIPE ARCH CND CONDUIT CO COUNTY CO CLEANOUT COL COLUMBIA COL COMP CONC CONCRETE CONN CONNECTION CONST CONSTRUCTION(ION) CONT CONTINUOUS COORD COORDINATE(S) COR CORNER CPG COUPLING CPI CONCRETE POWER POLE CS CONTROL STRUCTURE CTG COATING CTR CENTER CTV CABLE TELEVISION CULV CULVERT CY CUBIC YARD CYL CYLINDER	H	HOSE BIBB HDPE HIGH DENSITY POLYETHYLENE HW HARDWARE HORIZ HORIZONTAL HP HORSEPOWER HR HOUR HT HEIGHT HW HEADWALL HWL HIGH WATER LEVEL HWY HIGHWAY HYD HYDRAULIC	S	SOUTH SANITARY SEWER SPLASH BLOCK SCHEDULE SIDE DRAIN SHELF DRAIN SE SE SOUTHWEST SEC SECONDS SECT SECTION SH SHEET SHGWT SEASONAL HIGH GROUND WATER TABLE SIM SIMILAR SIL SETBACK LINE SLOPE SM SHEET METAL SPEC SPECIFICATION(S) SQ SQUARE SQ IN SQUARE INCH(ES) SQ FT SQUARE FOOT(FEET) SQ YD SQUARE YARD(S) SR STATE ROAD SS STAINLESS STEEL ST STREET STA STATION STD STANDARD STR STRUCTURE STS STORM SEWER SUP SUPPORT SUSP SUSPEND/SUSPENSION SVC SERVICE SW SOUTHWEST SWK SIDEWALK SYM SYMBOL(S) SYMM SYMMETRICAL SYS SYSTEM
D	DOUBLE DEG DEGREE DEF DEFLECTION(ION) DEPT DEPARTMENT DET DETAIL DHWL DESIGN HIGH WATER LEVEL DI DUCTILE IRON DIA DIAMETER DIAG DIAGONAL DIM DIMENSION DIP DUCTILE IRON PIPE DISCH DISCHARGE DIST DISTANCE DMH DROP MANHOLE DN DOWN DRN DRAIN DWC DRAWING DWY DRIVEWAY	I	INTERSTATE HIGHWAY IA INTERSECTION ANGLE ID INSIDE DIAMETER IF INSIDE FACE IN INCHES INL INLET INS INSET INST INSTALL IP IRON PIPE IR IRON ROAD INT INTERSECT/INTERSECTION INV INVERT	T	TANGENT TURFBLOCK TOP AND BOTTOM TEMPORARY BENCH MARK TIME OF CONCENTRATION TRENCH DRAIN TDH TOTAL DYNAMIC HEAD TECHNICIAN/TECHNICAL TEMPORARY TERMINAL LAMP/POLE TOB TOP OF BANK TOC TOP OF CURB TOS TOE OF SLOPE TOT TOTAL TS TOP OF SLOPE TWP TOWNSHIP TYP TYPICAL
E	EAST EA EACH ED EDGE OF CONCRETE ED ENERGY DISSIPATOR EF EACH FACE EFF EFFLUENT EG EXISTING GRADE E/L EASEMENT LINE ELB ELBOW ELEC ELECTRIC ELEV ELEVATION ELLIP ELLIPSE/ELLIPTICAL ENC ENCASEMENT ENG ENGINEERING(ING) EOP EDGE OF PAVEMENT EO EQUAL/EQUATION EQUIP EQUIPMENT EQUIV EQUIVALENT ESMT EASEMENT EST ESTIMATE EW EACH WAY EWL ENDWALL EXC EXCAVATE/EXCAVATION EXIST EXISTING EXP EXPAND/EXPANSION EXT EXTEND/EXTENSION	J	JUNCTION BOX JCT JUNCTION JST JOIST JT JOINT	U	UNDERDRAIN UNDERGROUND UNLESS OTHERWISE NOTED UNDERGROUND TELEPHONE CABLE
L	LENGTH LAT LATITUDE LATL LATERAL LB LB LF LINEAR FEET/FOOT LG LONG LIM LIMIT(S) LP LIGHT POLE L LONG LT LEFT LWL LOW WATER LEVEL	M	MAINTENANCE MATL MATERIAL MAX MAXIMUM MECH MECHANICAL ME MITERED END MFR MANUFACTURER MGD MILLION GALLONS PER DAY MH MANHOLE MHC MANHOLE COVER MHWL MEAN HIGH WATER LEVEL MIN MINIMUM MISC MISCELLANEOUS MJ MECHANICAL JOINT MLP METAL LIGHT POLE MLWL MEAN LOW WATER LEVEL MON MONUMENT MPH MILES PER HOUR MSL MEAN SEA LEVEL MTG MOUNTING	V	VALVE BOX VERTICAL CURVE VERTICAL VERTICAL POINT OF CURVE VERTICAL POINT OF INTERSECTION VERTICAL POINT OF TANGENCY
N	NORTH N NORTH NA NOT APPLICABLE N&C NAIL AND CAP NE NORTHEAST NG NATURAL GROUND NIC NOT IN CONTRACT NO OR # NUMBER NOM NOMINAL NTS NOT TO SCALE NW NORTHWEST NWL NORMAL WATER LEVEL	W	WEST W WITH WM WATER MAIN W/O WITHOUT WP WATER/WATER PROOF WPP WOOD POWER POLE WS WATER SURFACE WET WET SEASON WATER TABLE WT WEIGHT WV WATER VALVE WVW WELDED WIRE FABRIC WWM WELDED WIRE MESH	Y	YARD YEAR
O	ON CENTER OD OUTSIDE DIAMETER OE OR EQUAL OPNG OPENING OPP OPPOSITE ORCP OVAL REINFORCED CONCRETE PIPE OS OUTFALL STRUCTURE OVL OVERFLOW OVRD OVERHEAD	X	AND AT DELTA	MISC	

EXISTING SYMBOLS

LINES

	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING PLATS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT

SANITARY

	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE

WATER & REUSE WATER

	6" WM WATER MAIN 6" PVC PIPE		WATER VALVE
	RM REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER

STORM DRAIN

	STORM SEWER		FDOT TYPE 1 INLET
	MANHOLE		FDOT TYPE 2 INLET
	MITERED END		FDOT TYPE 3 INLET
	STORM INLET		FDOT TYPE 4 INLET
	FDOT TYPE 6 INLET		FDOT TYPE 5 INLET

HIGHWAY & UTILITIES

	BENCHMARK		GUY POLE		BRICK PAVERS
	RECOVERED 4x4 CM		WOOD UTILITY POLE		DIRT ROAD
	SET 4x4 CM		CONCRETE UTILITY POLE		8" MAPLE TREE
	SET IRON ROD		ELECTRIC MANHOLE		8" OAK TREE
	RECOVERED IRON ROD		TELEPHONE MANHOLE		8" PINE TREE
	CONCRETE		TELEPHONE RISER		8" PALM TREE
	COUNTY ROADS		ELECTRIC BOX / TRANSFORMER		8" MISC. TREE
	INTERSTATE ROADS		WELL		
	STATE ROADS		MONITORING WELL		
	WOOD AND/OR METAL LIGHT POLE		DUMPSTER		
	CONCRETE LIGHT POLE		RR CROSSING SIGN		
	YARD LIGHT		RR CROSSING GATE		
	MISCELLANEOUS SIGN		TRAFFIC SIGNAL POLE		
	SECTION CORNER		SATELLITE DISH		
	EDGE OF PAVEMENT W/O CURB		GUY WIRE		
	EDGE OF PAVEMENT W/CURB		HANDICAP PARKING		
			SPOT ELEVATION		

PROPOSED SYMBOLS

LINES

	BOUNDARY
	CONSERVATION SETBACK
	CENTER LINE
	CHAIN LINK FENCE
	CONTOUR
	EASEMENT
	FENCE
	GUARDRAIL
	LOT LINE
	PROPERTY LINE
	RETAINING WALL
	RIGHT-OF-WAY LINE
	SETBACK LINE
	SHORELINE
	SWALE
	TREE LINE

SANITARY

	100 LF SAN 8" PVC 0.40%		100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.40% SLOPE
	CLEANOUT		DOUBLE SANITARY SERVICE
	FM FORCE MAIN		MANHOLE

WATER & REUSE WATER

	WM WATER MAIN		11 1/2" BEND
	22 1/2" BEND		45" BEND
	90" BEND		TEE
	CROSS		CHECK VALVE
	DOUBLE DETECTOR CHECK VALVE		DOUBLE WATER SERVICE
	GATE VALVE		FIRE HYDRANT
	METER		REDUCER
	BLOWOFF		BACKFLOW PREVENTER
	SAMPLE POINT		UNDERDRAIN CLEANOUT
	RM RECLAIMED WATER MAIN		WATER VALVE
	WATER VALVE		DOUBLE REUSE WATER SERVICE

STORM DRAIN

	100 LF STS 24 RCP @ 0.20%		100 LINEAR FEET STORM PIPE 24" REINFORCED CONCRETE PIPE @ 0.20%
	UNDERDRAIN 6" PVC PIPE		DRAINAGE FLOW DIRECTION
	FDOT INLET TYPE 1		FDOT INLET TYPE 2
	FDOT INLET TYPE 3		FDOT INLET TYPE 4
	FDOT INLET TYPE 5		FDOT INLET TYPE 6
	MANHOLE		MITERED END SECTION
	SLOPE DIRECTION ARROW FOR POND SIDE SLOPE		SPOT ELEVATION
	STORM INLET		

HIGHWAY & UTILITIES

	BOUND CORNER
	CONCRETE
	COUNTY ROADS
	DETAIL REFERENCE
	DUMPSTER PAD
	FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
	GUY POLE
	HANDICAP PARKING
	INTERSTATE ROADS
	LIGHT POLE
	SIGNS
	SECTION CORNER
	STATE ROADS
	SILT FENCE
	TRAFFIC FLOW PAVEMENT MARKING
	UTILITY POLE
	BLDG OR STRUCTURE
	TYPE F CURB & GUTTER
	MIAMI CURB
	CROSS SECTION DETAIL

G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1B
City of Apopka, Florida
Preliminary
Development Plan

Symbols & Abbreviations

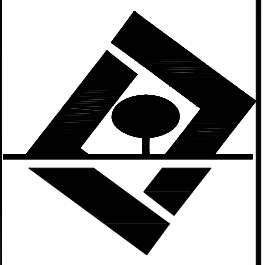
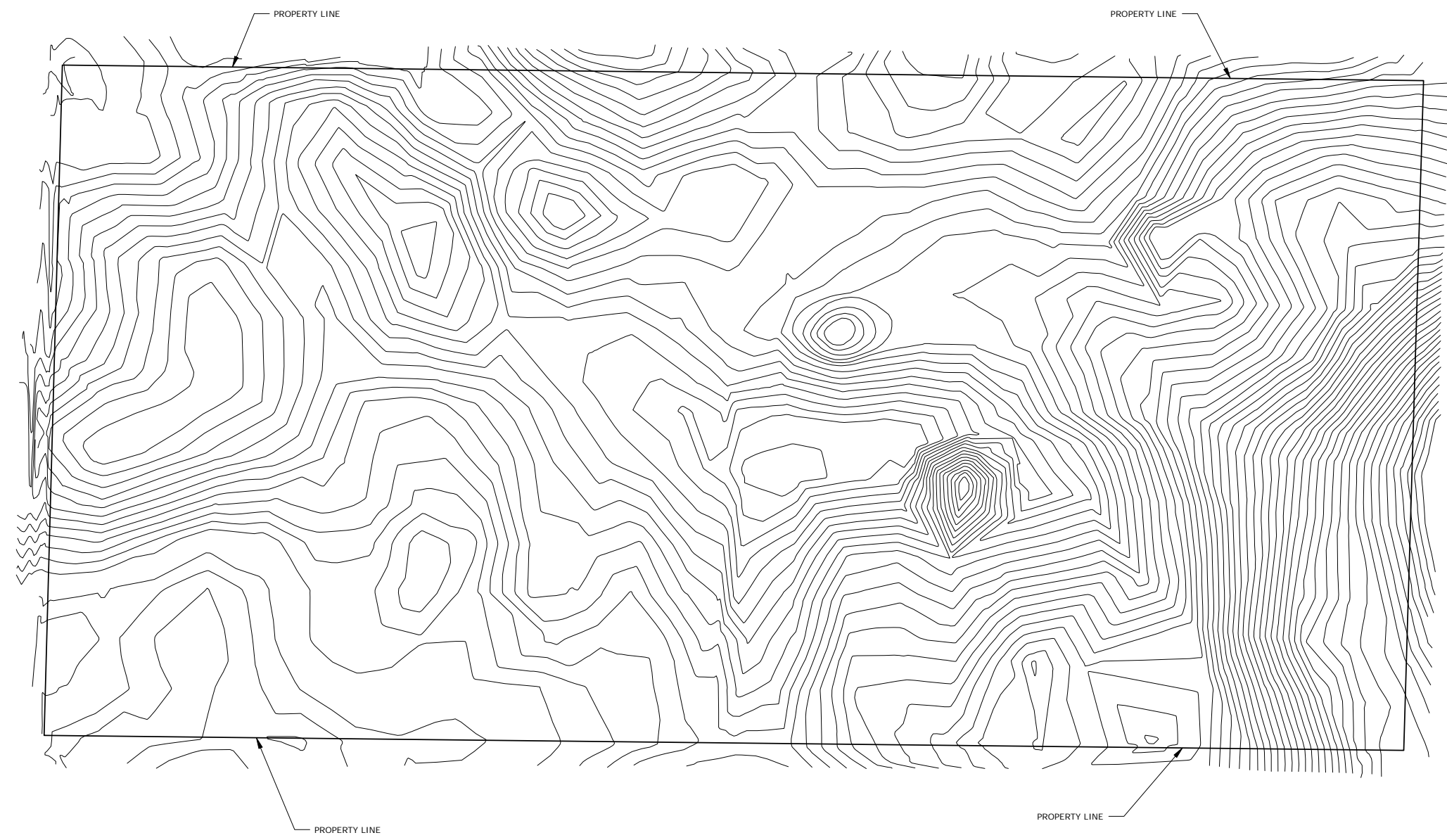
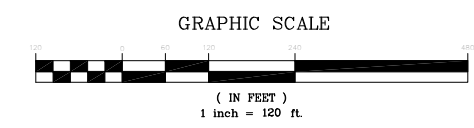
Plans not valid unless Signed, Dated and Sealed below.

GOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
2 OF 10



G L SUMMITT
ENGINEERING INC
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1B
City of Apopka, Florida

**Preliminary
Development Plan**

**Existing
Conditions
Plan**

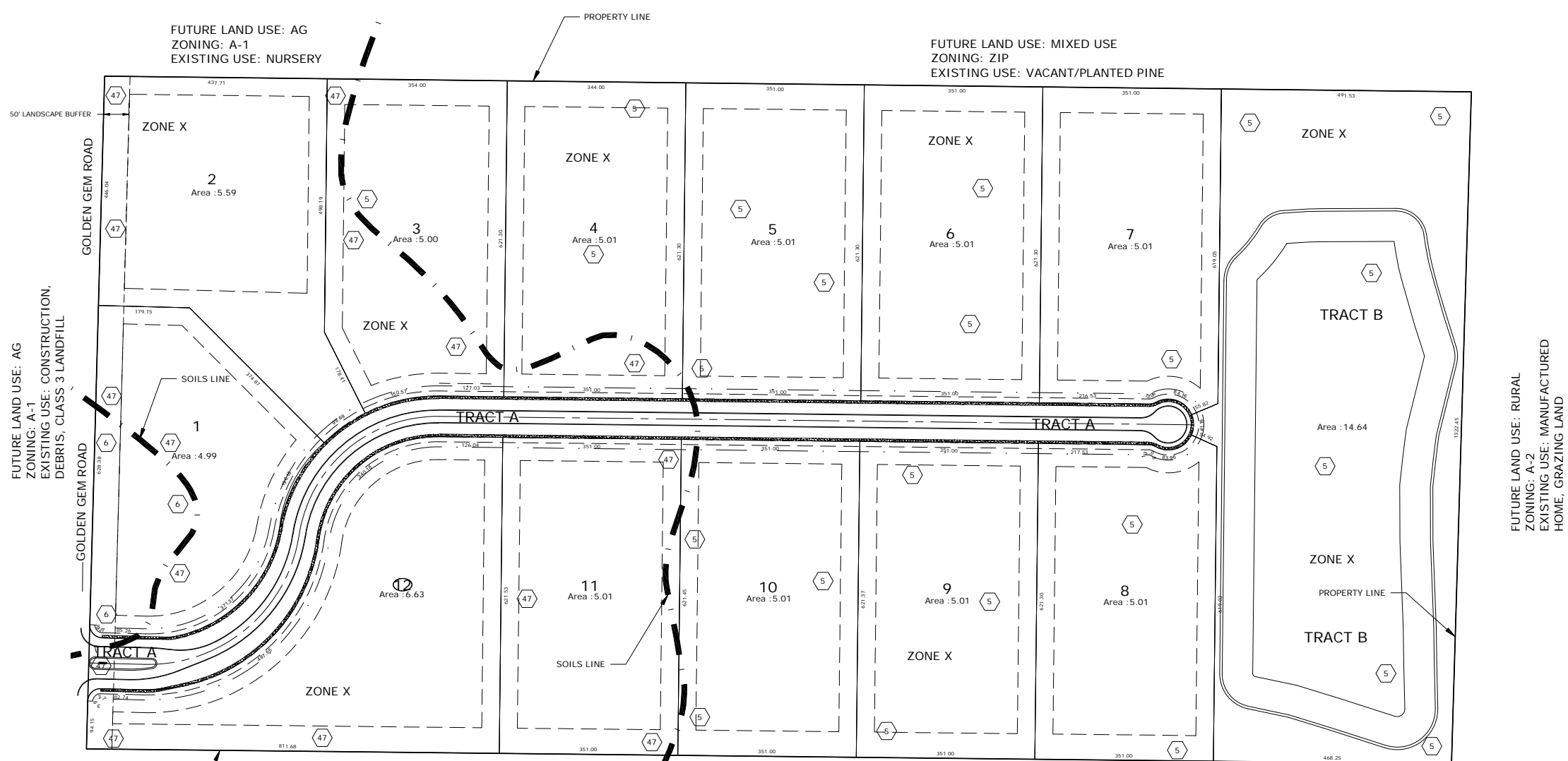
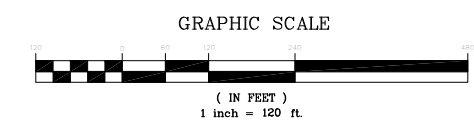
Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER
3 OF 10



SITE DATA TABLE	
PARCEL ID NUMBER	24-20-27-0000-00-097, 098, 100-105
FUTURE LAND USE	Agricultural
ZONING	AG-E
ADJACENT LAND USE	North: Mixed Use (City), Rural (Co) East: Rural (County) South: Rural Settlement/Con. West: Rural (Co.)
ADJACENT ZONING	North: ZIP(city) A-1 (county) East: A-2 (county) South: ZIP(city) West: A-1 (county)
ACREAGE/SQUARE FOOTAGE	Acres: 81.34 S.F. 3,543,170 sqft.
BUILDING HEIGHT	Proposed: 35 Max: 35
DENSITY	Proposed: 15 units/ac. Max: N/A
BUILDING SETBACKS	Proposed: Front: 45 Side: 35 Rear: 50 Corner: 35 Required: Front: 45 Side: 35 Rear: 50 Corner 35
OPEN SPACE	Proposed: 637,718 S.F. 14.64 Acres Required: S.F. Acres
IMPERVIOUS SURFACE	252,800 sqft. 5.8 acres
WAIVER REQUEST	Yes: X No:
VARIANCE REQUEST	Yes: No:

- SOILS LEGEND:**
- 5 CHANDLER FINE SANDS
 - 6 CHANDLER-APOPKA FINE SANDS
 - 47 TAVARES MILLHOPPER FINE SANDS

- SITE DATA:**
- Site is located in Section 24, Township 29 South, Range 27 East, City of Apopka Florida
 - Current Site Zoning: AG Proposed Zoning: AG
 - Current Future Land Use: Agricultural
 - Site Contains 80 acres more or less (±) 4,848,800 square feet
 - Net Developable Area = 50,000 ac. - 5 ac. (Water) = 45,000 ac.
 - Existing Use: Agricultural Proposed Use: Single Family Residential
 - Total Number of Proposed Single Family Units: 12
 - Residential Density: 12 Single Family Units / 50.00 acres = 15 units/acre
 - Projected School Age Population: 12 Single Family Units x 0.431 = 5 students
 - Proposed Minimum Lot Dimensions: Single Family Detached: 297,800 sqft ± to: Living Area (sq. ft.): 2,750 Max. Lot Width @ 84 ft. Dk. (ft.): 350 Max. Lot Depth (ft.): 650 Max. Building Height (ft.): 35 / 2 Story Lot Intensity Area: 30% Max.: 25 (acres)
 - Building Setbacks: Single Family Detached: 45 (rear structural), 30 (face of garage) Side yard setbacks: 35 (general), 0 (end units) Rear yard setback: 50 Side Street setbacks: 35
 - Property Line Setbacks: Single Family Detached: 25 (Building, 15 (Power) Golden Gate 40 (ROW) Line setbacks:
 - No alteration of the floodplain is anticipated with the proposed construction.
 - Fire flow shall be provided according to the following:
 - Single Family Townhome: Rural Homes without public water supply no hydrants available
 - Water service will be provided by individual wells.
 - Sewer service will be via individual septic systems.
 - There is no water or sewer service within one thousand feet of the property.
 - All traffic markings shall be in accordance with City of Apopka and FDOT roadway specifications.
 - Project to be constructed in multiple phases. First phase will consist of mass grading and pond construction. Second phase will consist of roadway and subdivision infrastructure.
 - Sidewalks will be provided internally and adjacent to all roadways.
 - Onsite drainage system will be privately owned and maintained by the HOA.
 - Trip Generation: Single Family Residential: 12 units @ 9.5 trips per day = 114 ADT
 - Required Off-Street Parking: Single Family: Number of Units: 12 Required Parking Spaces: 24 (2 spaces per unit) Provided Parking Spaces: 24 (garage spaces) + driveway spaces
 - Living Area is defined as that area serviced by a HVAC system.
 - All external HVAC equipment shall be placed on one side of building only.
 - Proposed Finished Floor grades are expected to be 12" minimum above property line grade.
 - No trees or located onsite. See Landscape Plan for proposed trees & plantings.
 - Onsite billboards are prohibited.
 - Street lighting shall be in accordance with City of Apopka Land Development regulations. All lighting will be owned and maintained by HOA and/or City of Apopka.
 - Architectural Exteriors of all residential buildings shall meet the intent of the City of Apopka Development Design Guidelines.

FUTURE LAND USE: RURAL SETTLEMENT
ZONING: ZIP
EXISTING USE: PLANTED PINE TREE

Lot Number	Lot Frontage of Right-of-way (ft.)	Total Lot Area (sqft.)
1	692	217,810
2	100	243,500
3	278	218,002
4	351	218,077
5	351	218,077
6	351	218,077
7	314	218,328
8	315	218,222
9	351	218,088
10	351	218,115
11	351	218,142
12	1,086	288,776

Golden Gem Estates Legal Description (provided by Client)

Parcel 1: The South 640 feet of the North 660 feet of the West 1391.25 feet of the NW ¼ of Section 24, T 20 S, R 27 E, Orange County, Florida, LESS the West 30 thereof for ROW.

Parcel 2: The South 640 feet of the North 1300 feet of the West 1391.25 feet of the NW ¼ of Section 24, T 20 S, R 27 E, Orange County, Florida, LESS the West 30 thereof for ROW.

Parcel 3: The North 660 feet of the West 1391.25 feet of the NW ¼ of Section 24, T 20 S, R 27 E, Orange County, Florida, LESS the West 1391.25 feet of the South 640 feet of the North 660 feet of said NW ¼, LESS the West 30 thereof for ROW.

Parcel 4: The South 660 feet of the North 1320 feet of the NW ¼ of Section 24, T 20 S, R 27 E, Orange County, Florida, LESS the West 1391.25 feet of the North 1300 feet of said NW ¼, LESS the West 30 thereof for ROW.

TRACT LABEL	TRACT TYPE	Area (Ac.)	TRACT DEDICATED TO	EASEMENT DEDICATED TO
A	Rights-of-Way	4.63	City of Apopka	Public Utilities
B	Stormwater Tract	14.64	HOA	City of Apopka

G L SUMMITT ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

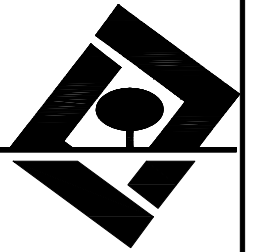
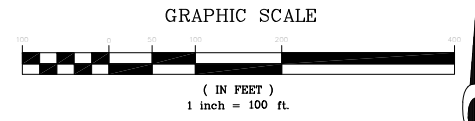
Golden Gem Estates Phase 1B
City of Apopka, Florida
Preliminary Development Plan

Overall Site Plan

Plans not valid unless Signed, Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-



G L SUMMITT
 ENGINEERING INC
 Office: Lake Mary
 3667 Simonton Place
 Lake Mary, Florida 32746
 phone: 407-323-0705
 fax: 407-992-8650
 www.GLSeng.com

Cantero Holding, LLC
 12601 Avalon Road
 Winter Garden, FL 34787
 407-239-4565
 407-239-6011

Golden Gem Estates
 Phase 1B
 City of Apopka, Florida

Preliminary
 Development Plan

Site Plan

Plans not valid unless Signed,
 Dated and Sealed below.

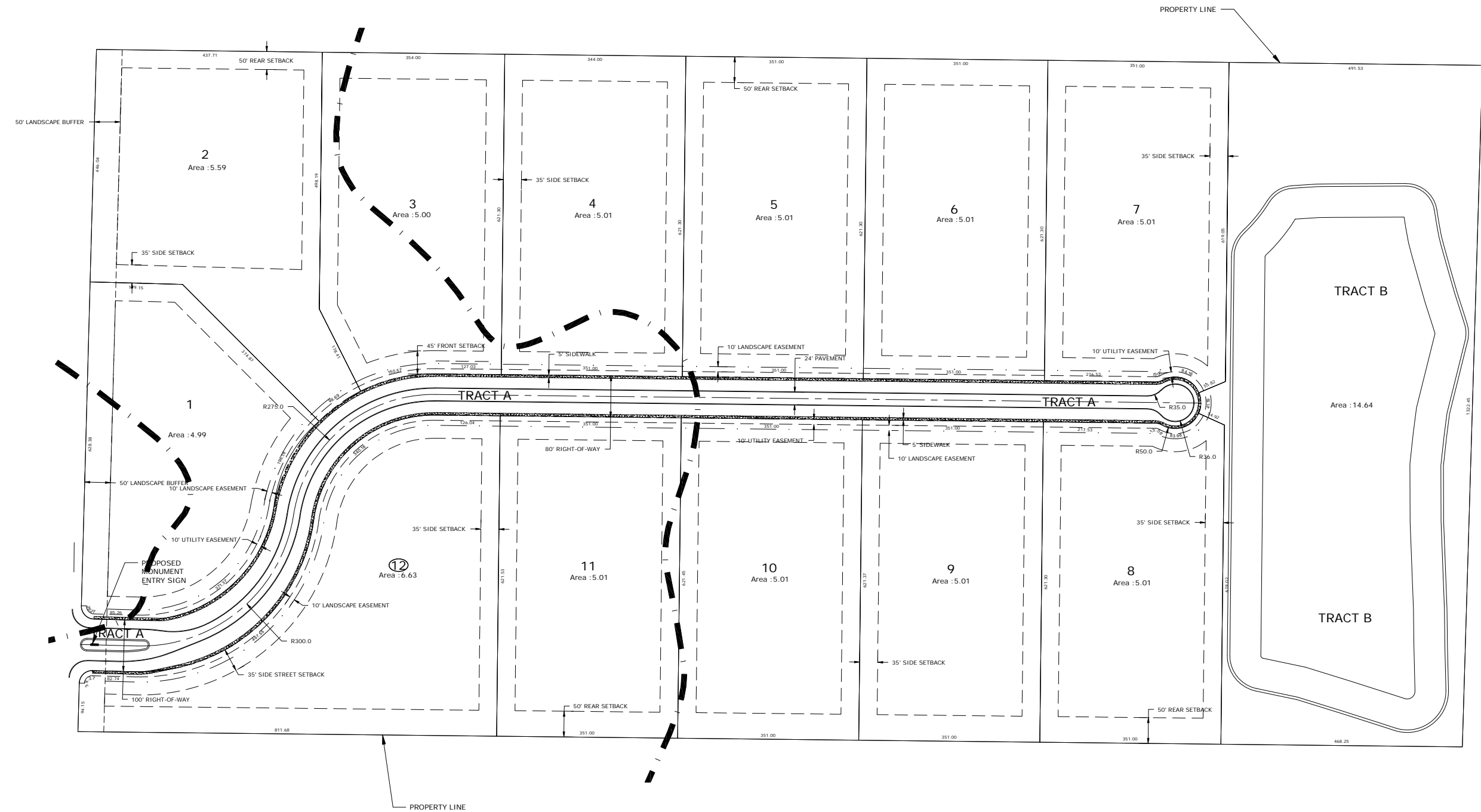
GOFFREY L. SUMMITT, P.E.
 Date: June 24, 2015
 FL Registration #58775
 Certificate of Authorization #29665

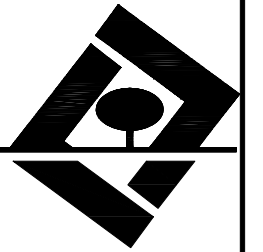
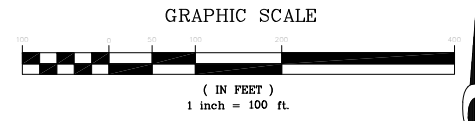
Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER

5 OF 10





G L SUMMITT
 ENGINEERING INC

Office: Lake Mary
 3667 Simonton Place
 Lake Mary, Florida 32746
 phone: 407-323-0705
 fax: 407-992-8650
 www.GLSeng.com

Cantero Holding, LLC
 12601 Avalon Road
 Winter Garden, FL 34787
 407-239-4565
 407-239-6011

Golden Gem Estates
Phase 1B
 City of Apopka, Florida

**Preliminary
 Development Plan**

**Paving &
 Drainage Plan**

Plans not valid unless Signed,
 Dated and Sealed below.

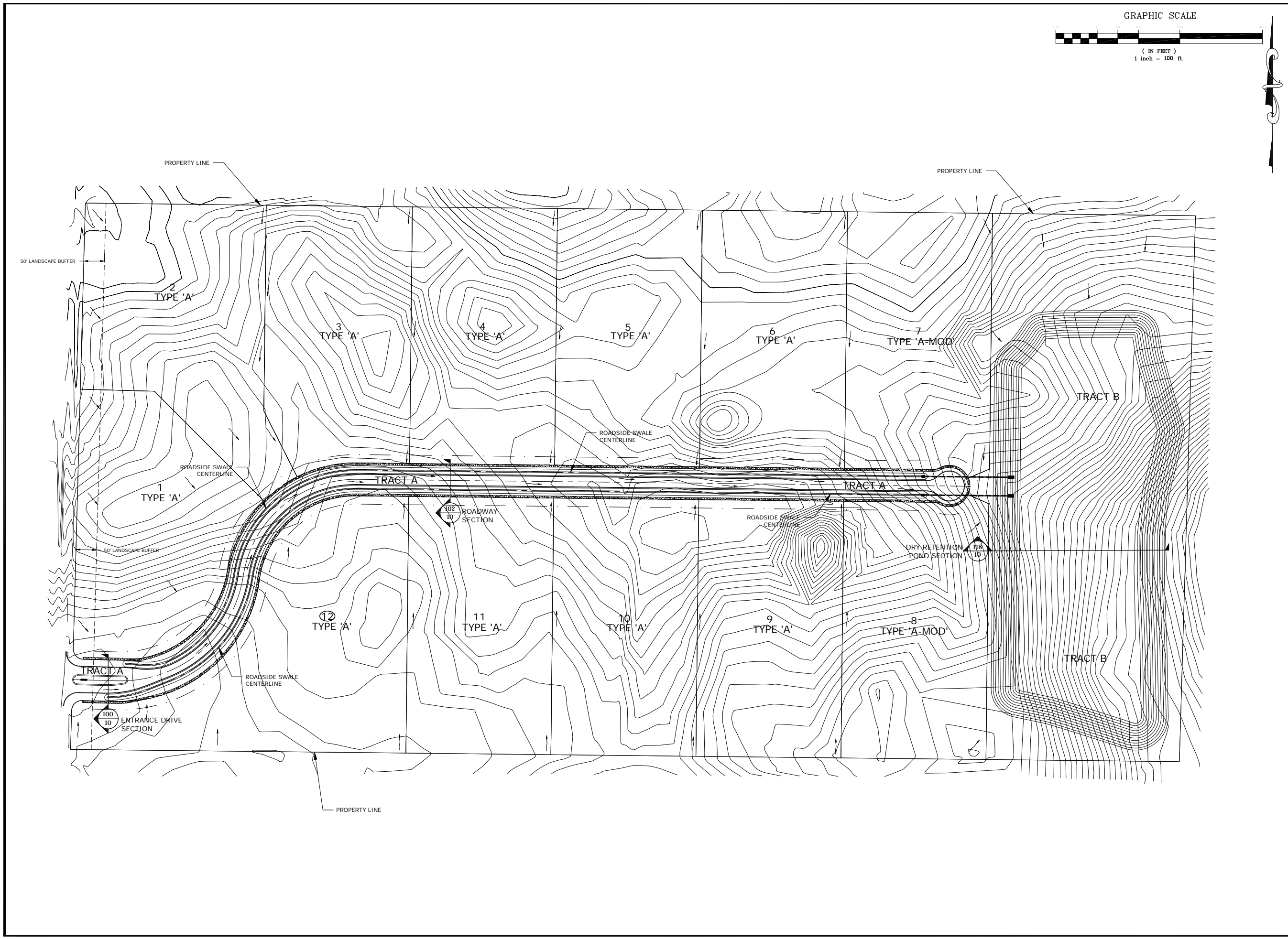
GEOFFREY L. SUMMITT, P.E.
 Date: June 24, 2015
 FL Registration #58775
 Certificate of Authorization #29665

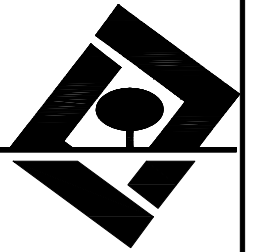
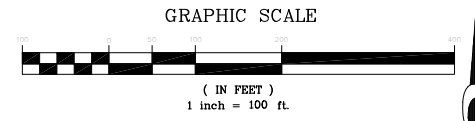
Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER

6 OF 10





G L SUMMITT
 ENGINEERING INC

Office: Lake Mary
 3667 Simonton Place
 Lake Mary, Florida 32746
 phone: 407-323-0705
 fax: 407-992-8650
 www.GLSeng.com

Cantero Holding, LLC
 12601 Avalon Road

Winter Garden, FL 34787
 407-239-4565
 407-239-6011

Golden Gem Estates
Phase 1B
 City of Apopka, Florida

**Preliminary
 Development Plan**

**Landscape
 Plan**

Plans not valid unless Signed,
 Dated and Sealed below.

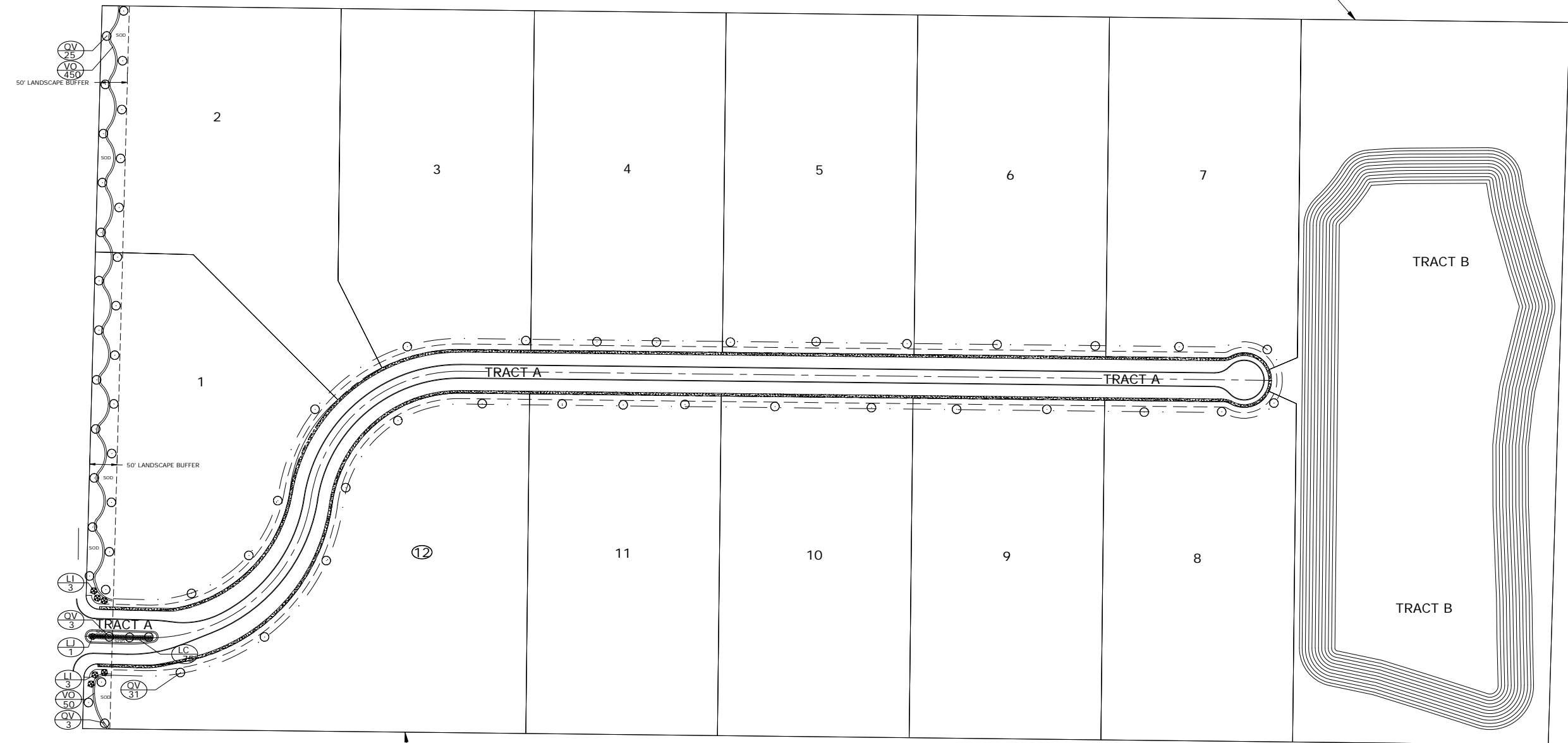
GEOFFREY L. SUMMITT, P.E.
 Date: June 24, 2015
 FL Registration #58775
 Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

SHEET NUMBER

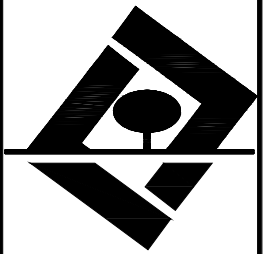
7 OF 10



NOTE:

1. AN IRRIGATION PLAN & DESIGN MEETING THE CITY OF APOPKA REQUIREMENTS WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN.
2. LANDSCAPING & IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.
3. IN ADDITION TO THE STREET TREES SHOWN EACH LOT SHALL BE REQUIRED TO HAVE THREE (3) ADDITIONAL TREES PLANTED ON THE LOT.

LANDSCAPE AND IRRIGATION DESIGN
 I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.
 SIGNATURE _____ REG. NO. _____ DATE _____



G L SUMMITT
ENGINEERING INC.
 Office: Lake Mary
 3667 Simonton Place
 Lake Mary, Florida 32746
 phone: 407-323-0705
 fax: 407-992-8650
 www.GLSeng.com

Cantero Holding, LLC
 12601 Avalon Road
 Winter Garden, FL 34787
 407-239-4565
 407-239-6011

Golden Gem Estates
Phase 1B
 City of Apopka, Florida

Preliminary
Development Plan

Landscape
Details

Plans not valid unless Signed,
 Dated and Sealed below.

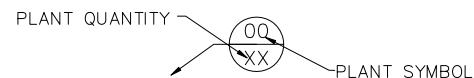
GEOFFREY L. SUMMITT, P.E.
 Date: June 24, 2015
 FL Registration #58775
 Certificate of Authorization #29665

Revisions		
NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

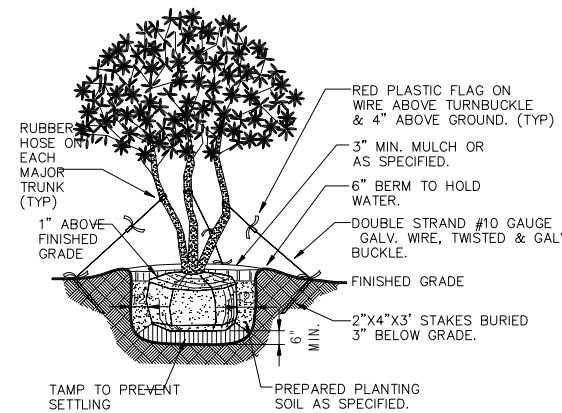
SHEET NUMBER
8 OF 10

PLANT LIST

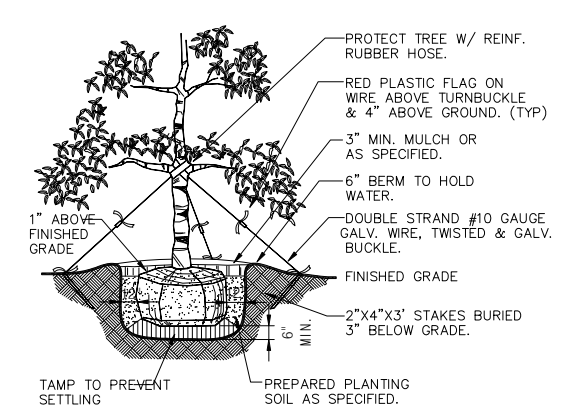
SYMBOL	BOTANICAL NAME (COMMON NAME)	MINIMUM SIZE /SPACING	DROUGHT TOLERANCE	NATIVE FLORIDA	QUANTITY
QV	QUERCUS VIRGINIANA (LIVE OAK)	8' MIN.HT. 2.5" DBH. 4'-5'MIN.SPREAD.	YES	YES	62
LI	LAGERSTROMIA INDICA (CREPE MYRTLE)	6'-8' MIN.HT. 2" CAL.	YES	YES	6
LJ	LIGUSTRUM JAPONICUM (LIGUSTRUM)	MULTI-TRUNK. 6'-8' MIN.HT. 2" CAL. MULTI-TRUNK.	YES	NO	1
LC	LOROPETALUM 'RUBRUM' (LOROPETALUM)	20" MIN.HT. 20" MIN.SPREAD 5 GAL. 30" O.C.	YES	NO	75
VO	VIBURNUM ODORATISSIMUM (SWEET VIBURNUM)	24' MIN.HT. 24" MIN.SPREAD 5 GAL. 30" O.C.	YES	NO	500
SOD	BAHIA	QUANTITY TO BE CALCULATED BY CONTRACTOR	YES	YES	



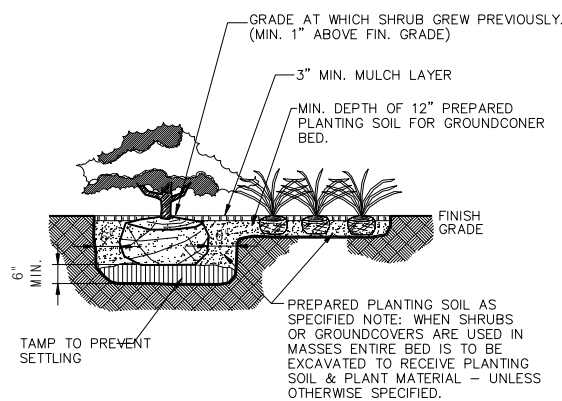
NOTE:
 WHERE GALLON REFERENCES MAY CONFLICT WITH HEIGHT/SPREAD AND CALIPER MEASUREMENTS, THE HEIGHT/SPREAD AND CALIPER MEASUREMENTS SHALL GOVERN.



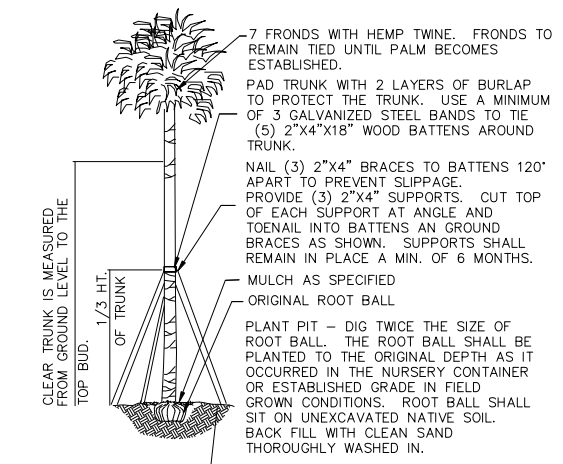
1 MULTI-TRUNK DETAIL NTS



2 TREE PLANTING DETAIL NTS



3 SHRUB AND GROUND COVER DETAIL NTS



4 PALM PLANTING DETAIL NTS

GENERAL LANDSCAPE NOTES

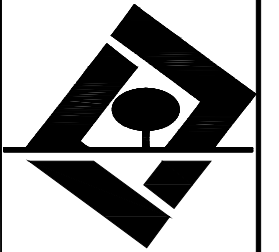
- ALL PLANTS TO BE FLORIDA NO. 1, OR BETTER AS OUTLINED UNDER 'GRADES AND STANDARDS FOR NURSERY PLANTS, PART I, 1963 AND PART II, STATE OF FLORIDA DEPARTMENT OF AGRICULTURE, TALLAHASSEE, FLORIDA, AND ANY AMENDMENTS THERETO.
- ALL TREES AND PLANT MATERIAL SHALL BE PLANTED IN ACCORDANCE WITH THE SPECIFICATIONS DESCRIBED IN THE CITY OF APOPKA LAND DEVELOPMENT CODE LANDSCAPE REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR (CONTRACTED BY OWNER, N.I.C.) SHALL BE RESPONSIBLE FOR ALL MATERIALS AND ALL WORK AS CALLED FOR ON THE LANDSCAPE PLANS. THE LIST OF PLANT QUANTITIES ACCOMPANYING THE PLANS SHALL BE USED AS A GUIDE ONLY. IF A VARIATION OCCURS BETWEEN THE PLANS AND THE PLANT LIST, THE PLANS SHALL CONTROL.
- ALL TREES, SHRUBS AND GROUND COVERS SHALL BE PLANTED USING A SOIL MIXTURE PREPARED ACCORDINGLY (2/3 EXISTING SOIL, 1/3 PEAT).
- THE LANDSCAPE CONTRACTOR SHALL INSURE ADEQUATE VERTICAL DRAINAGE IN ALL PLANT BEDS AND PLANTERS. VERTICAL DRILLING THROUGH ANY COMPACTED FILL TO NATIVE SOIL SHALL BE ACCOMPLISHED TO AID DRAINAGE.
- ALL PLANT BEDS AND TREE WATERING BASINS SHALL BE TOP DRESSED WITH THREE INCHES (3") OF SHREDDED CYPRESS MULCH
- NO TREES SHALL BE PLANTED CLOSER THAN FIVE FEET (5) FROM THE EDGE OF PAVEMENT TO ALLOW ADEQUATE TREE TRUNK PROTECTION.
- LANDSCAPE CONTRACTOR SHALL BE WHOLLY RESPONSIBLE FOR STABILITY AND PLUMB CONDITION OF ALL TREES AND SHALL BE LEGALLY LIABLE FOR ANY DAMAGE CAUSED BY THE INSTABILITY OF ANY PLANT MATERIAL.
- ALL LAWN AREAS TO RECEIVE SOD SHALL BE DISKED FOUR(4) TO SIX(6) INCHES AND DRAGGED TO ESTABLISH A LEVEL FINISH GRADE. ALL DEBRIS TO BE REMOVED FROM THE SITE.
- SOD SHALL BE FREE OF WEEDS AND PESTS. IT SHALL BE LAID EVENLY AND ROLLED, WITH TIGHT FITTING JOINTS. THE SOD SHALL CONTAIN MOIST SOIL WHICH DOES NOT FALL APART OR TEAR WHEN LIFTED. ALL AREAS NOT PAVED OR OTHERWISE LANDSCAPED SHALL BE SODDED. SOD SHALL BE ARGENTINE BAHIA OR EQUAL.
- ALL LANDSCAPE AREAS TO BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM, WITH 100% COVERAGE, BACKFLOW PREVENTOR, & RAIN SENSOR DEVICE. DIRECT SPRAY HEADS AWAY FROM ANY NATURAL AREAS AND PAVED SURFACES.
- THE TREE CALIPER OF ALL CANOPY TREES SPECIFIED ON THE PLANT LIST SHALL BE AT LEAST THREE (2.5) INCHES IN DIAMETER WHEN MEASURED AT FIFTY-FOUR(54) INCHES ABOVE GRADE.
- LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OCCURRING ON SITE OR ADJACENT AREAS, INCLUDING BUT NOT LIMITED TO BUILDINGS, PAVING, UTILITIES, ETC., WHICH IS CAUSED BY PREPARING OR INSTALLING ANY AND ALL PLANT MATERIAL.

NOTE:

- AN IRRIGATION PLAN & DESIGN MEETING THE CITY OF APOPKA REQUIREMENTS WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN.
- LANDSCAPING & IRRIGATION PLANS SHALL BE IN ACCORDANCE WITH LDC ARTICLE V, WATER-WISE ORDINANCE NO. 2069.

Ravensdale Planning & Design
 Land Planning Landscape Architecture • Project Management • Expert Witness
 703 Greens Avenue, Winter Park, Florida 32789
 (407) 647-1213 (407) 647-6359 FAX.

LANDSCAPE AND IRRIGATION DESIGN
 I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.
 SIGNATURE _____ RES NO _____ DATE _____



G L SUMMITT
ENGINEERING INC.

Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650

www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road

Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1B
City of Apopka, Florida

Preliminary
Development Plan

General
Details 1

Plans not valid unless Signed,
Dated and Sealed below.

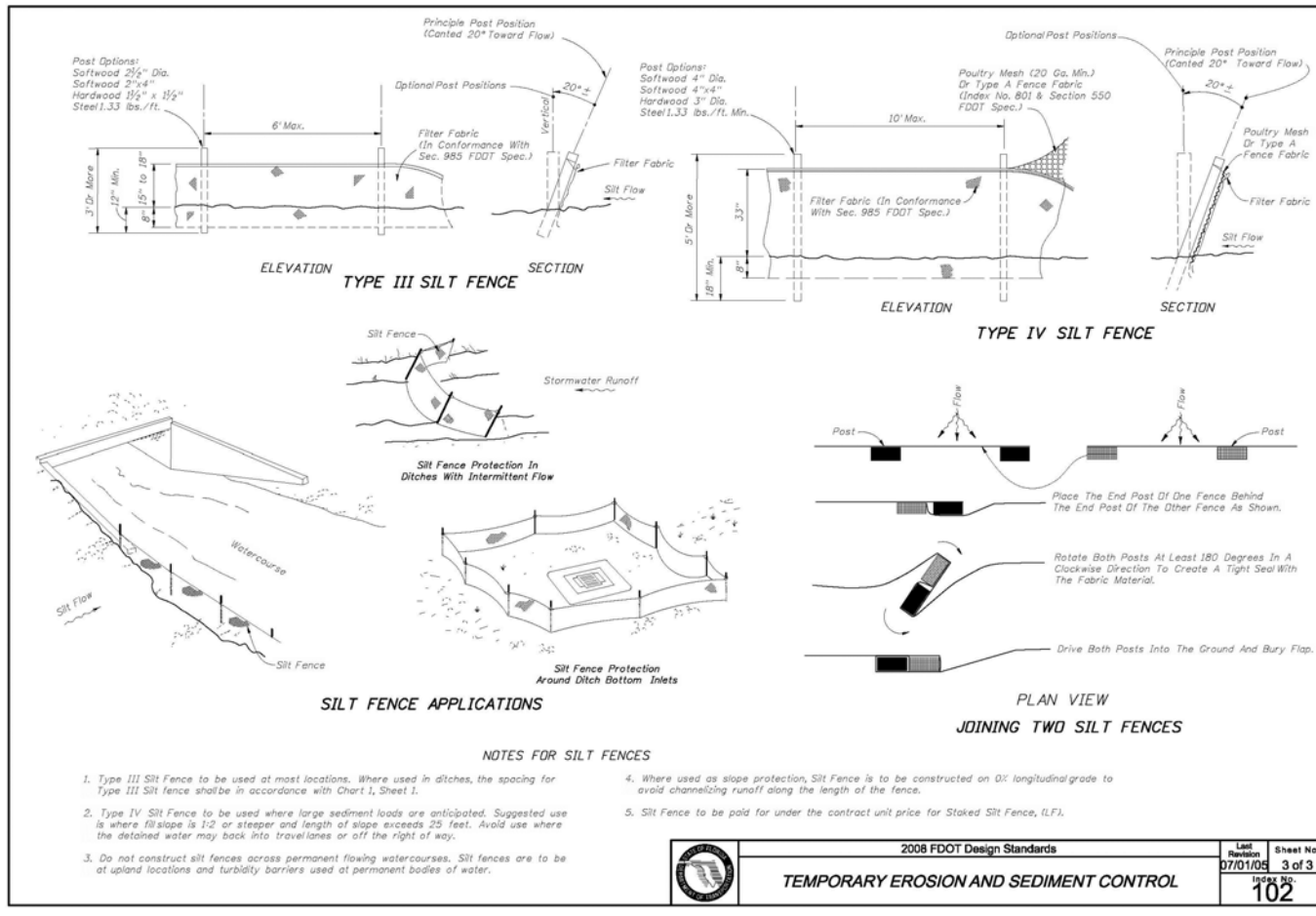
GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

Revisions

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

SHEET NUMBER

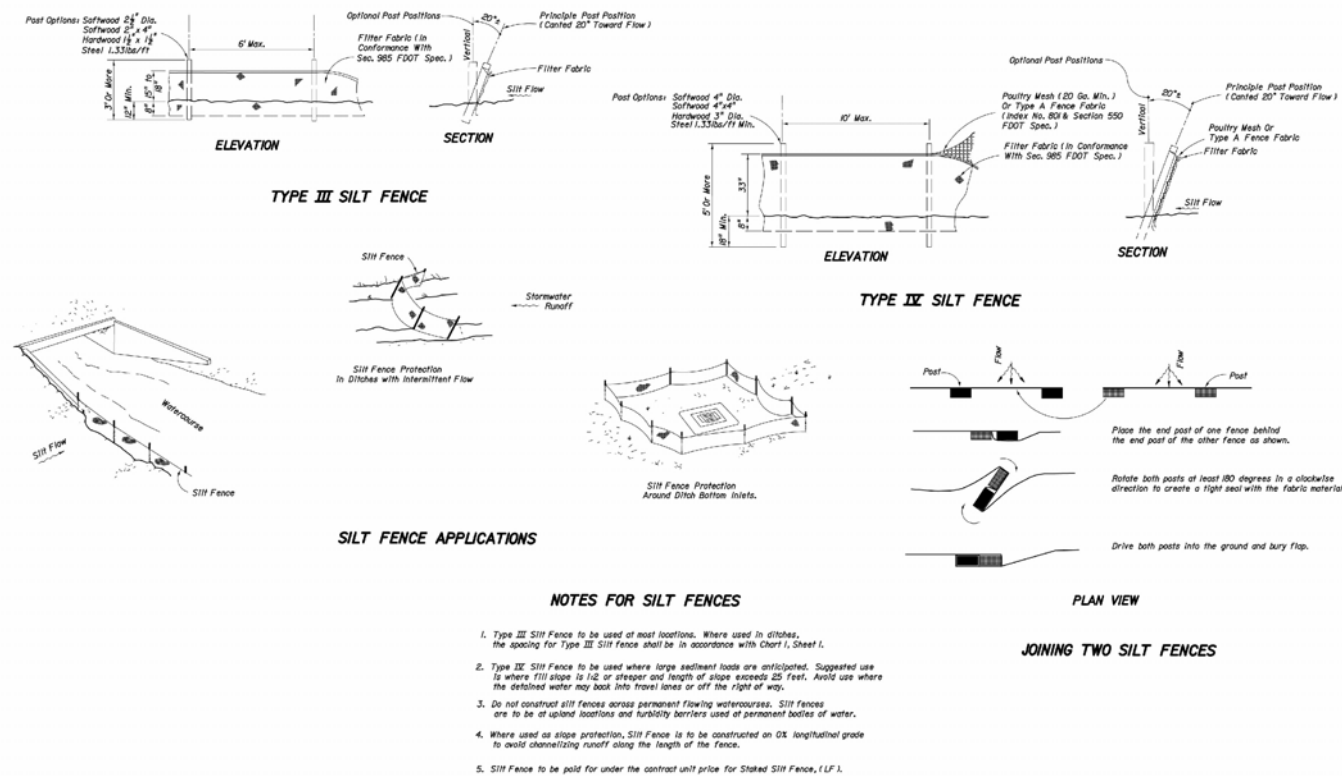
9 OF 10



2008 FDOT Design Standards
Last Revision: 07/01/08
Sheet No.: 3 of 3
102
TEMPORARY EROSION AND SEDIMENT CONTROL

100 TEMPORARY EROSION & SEDIMENT CONTROL
N.T.S.

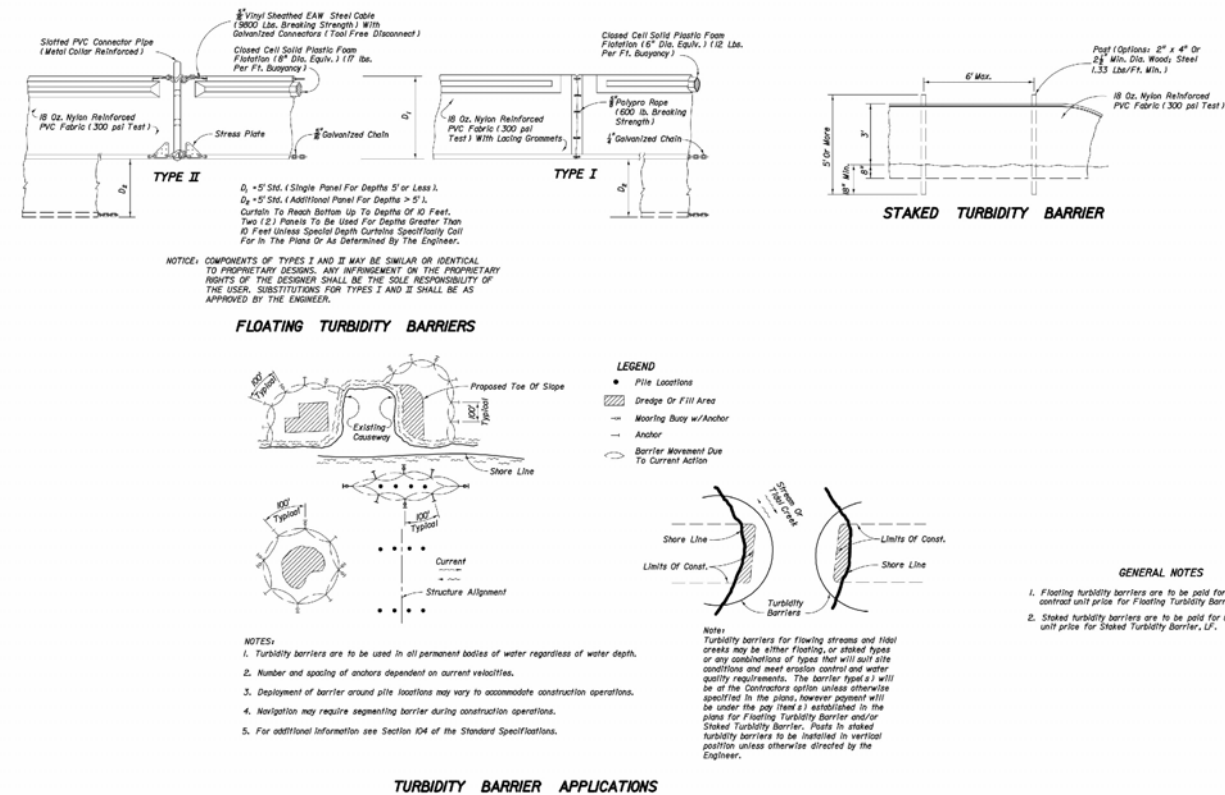
101 TYPE 'P' & 'J' STRUCTURE BOTTOMS
N.T.S.



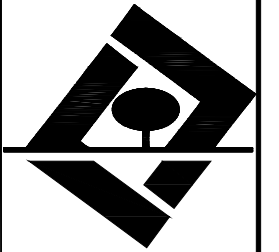
2008 FDOT Design Standards
Last Revision: 07/01/08
Sheet No.: 3 of 3
102
TEMPORARY EROSION AND SEDIMENT CONTROL

100 TEMPORARY EROSION & SEDIMENT CONTROL
N.T.S.

101 TYPE 'P' & 'J' STRUCTURE BOTTOMS
N.T.S.



102 EROSION CONTROL /SILT FENCE DETAIL



G L SUMMITT
ENGINEERING INC.
Office: Lake Mary
3667 Simonton Place
Lake Mary, Florida 32746
phone: 407-323-0705
fax: 407-992-8650
www.GLSeng.com

Cantero Holding, LLC
12601 Avalon Road
Winter Garden, FL 34787
407-239-4565
407-239-6011

Golden Gem Estates
Phase 1B
City of Apopka, Florida

Preliminary
Development Plan

General
Details 2

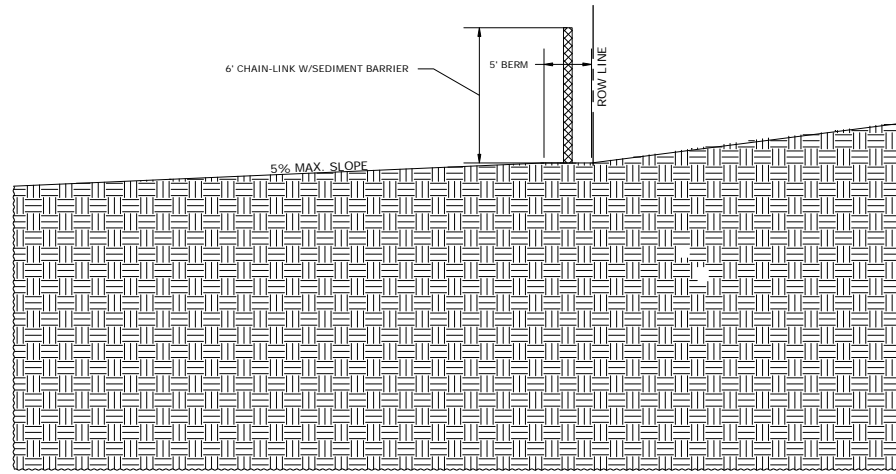
Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: June 24, 2015
FL Registration #58775
Certificate of Authorization #29665

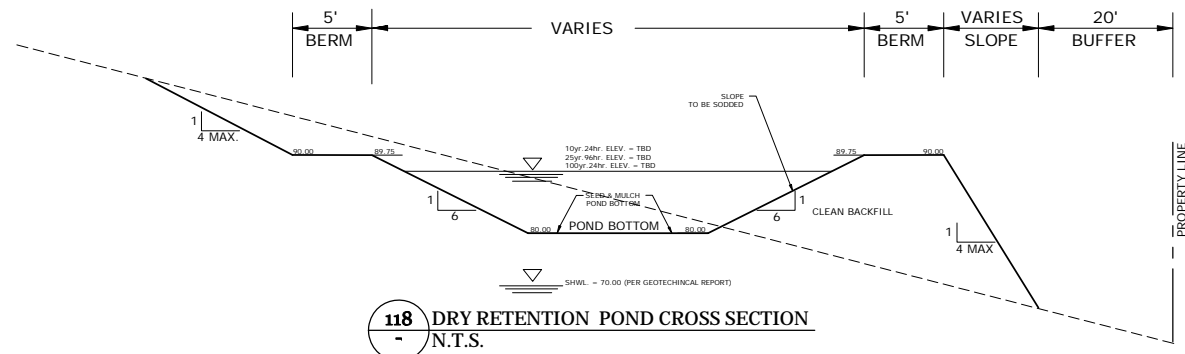
Revisions

NO.	DATE	DESCRIPTION
1	-	-
2	-	-
3	-	-
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-

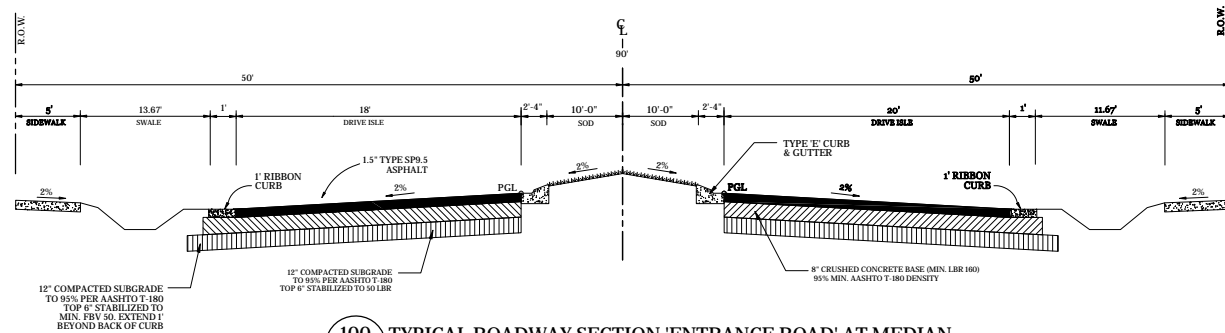
SHEET NUMBER
10 OF 10



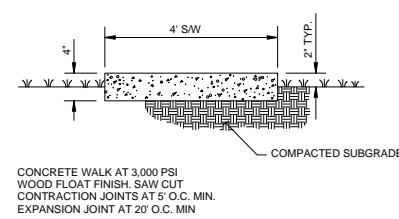
117 GOLDEN GEM ROAD GRADING SECTION
- N.T.S.



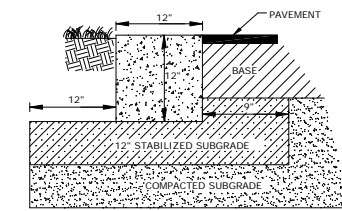
118 DRY RETENTION POND CROSS SECTION
- N.T.S.



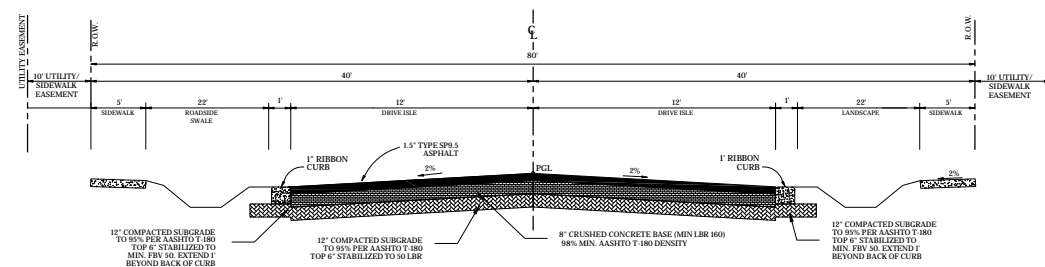
100 TYPICAL ROADWAY SECTION 'ENTRANCE ROAD' AT MEDIAN
- N.T.S.



103 STANDARD SIDEWALK DETAIL
- N.T.S.



300R CONCRETE RIBBON CURB
- N.T.S.



102 TYPICAL ROADWAY CROSS SECTION
- N.T.S.

Backup material for agenda item:

4. FINAL DEVELOPMENT PLAN – Marden Ridge – owned by Emerson Point Associates, LLLP; Applicant MMI Development, Inc., c/o Michael E. Wright, Esq.; Engineer GAI Consultants, Inc., c/o Anthony Call, P.E., property located Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the Apopka Expressway. (Parcel ID No.: 17-21-28-0000-00-029)



CITY OF APOPKA PLANNING COMMISSION

<input checked="" type="checkbox"/> PUBLIC HEARING	DATE:	July 28, 2015
<input type="checkbox"/> ANNEXATION	FROM:	Community Development
<input type="checkbox"/> PLAT APPROVAL	EXHIBITS:	Vicinity Map
<input type="checkbox"/> OTHER:		Site Plan
		Architecture Elevations
		Landscape Plan
		Hardscape Plan
		Lighting Plan

SUBJECT: MARDEN RIDGE APARTMENTS, PHASE 1B - FINAL DEVELOPMENT PLAN

Request: RECOMMEND APPROVAL OF THE MARDEN RIDGE APARTMENTS, PHASE 1B, FINAL DEVELOPMENT PLAN. (PARCEL ID NUMBER: 17-21-28-0000-00-029)

SUMMARY

OWNERS: Emerson Point Associates, LLLP

APPLICANT: MMI Development, Inc., c/o Michael E. Wright, Esq.

ENGINEER: GAI Consultants, Inc., c/o Anthony Call, P.E.

LOCATION: Between S.R. 451 and Marden Road, south of Ocoee Apopka Road, and north of the S.R. 414

EXISTING USE: Planted Pine

FUTURE LAND USE: Residential High (0-15du/ac)

CURRENT ZONING: R-3

PROPOSED DEVELOPMENT: Apartment (272 units/5 Buildings)

PROPOSED ZONING: Planned Unit Development (PUD/R-3)

TRACT SIZE: Apartments: 18.05 +/- Acres
Overall Site: 42.17 +/- Acres

MAXIMUM ALLOWABLE DEVELOPMENT: EXISTING: 536 Units (35.74 ac)
PROPOSED: 272 Units (Phase 1B) on 18.05 ac

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Ser. Director
Commissioners (4)	HR Director	City Clerk
City Administrator Irby	IT Director	Fire Chief
Community Dev. Director	Police Chief	

RELATIONSHIP TO ADJACENT PROPERTIES:

<u>Direction</u>	<u>Future Land Use</u>	<u>Zoning</u>	<u>Present Use</u>
North (City)	Commercial	C-1	Vacant Land
East (City)	Res. Medium (0-10 du/ac)	R-3	Vacant Land
East County	Low Medium Density Res. (10 du/ac)	R-2	Apartments
South (City)	Mixed Use (0-15 du/ac)	M-EC	Vacant Land
West (City)	Industrial	I-1	Northwest Distribution

ADDITIONAL COMMENTS: The Marden Ridge Apartments, Phase 1B, Final Development Plan proposes 272 apartment units located on approximately 18.05 acres within 42.17 +/- acres site. The overall site is comprised of 6.43 acres being designated for Commercial (C-1) use and 35.74 acres of the property designated for Residential High (PUD/R-3) use. Development of the remaining 17.69 acres of residential land will occur at a later date through a separate Preliminary Development Plan application, as will development of the 6.43 acres of land assigned the C-1 commercial zoning category. The developer has proposed five (5), four (4) story buildings at approximately fifty-eight (58) feet in height; with a projected population of 784 people. The PUD/R-3 zoning district allows for the construction of apartments with a minimum living area of 750s.f. per unit.

EXTERIOR ELEVATIONS: The design of the building exterior meets the intent of the City’s Development Design Guidelines.

PARKING: The developer has proposed 544 parking spaces which meet the City’s Land Development Code.

LDC 6.03.02. - Number of parking spaces required.

Residential dwelling units, single-family, duplex, multifamily	2 spaces per dwelling unit
--	----------------------------

ACCESS: Ingress/egress for the development will be via two (2) full access points from Marden Road.

STORMWATER: The stormwater management system includes on-site retention ponds. The developer has provided three (3) dry retention ponds designed to meet the City’s Land Development Code requirements.

RECREATION: The developer is proposing 2.98 acres (129,809 sq. ft.) of passive and active recreation space. Some of the proposed amenities: clubhouse (6,183s.f.), swimming pool and tot lot. At the time of the final development plan application, details of active and passive recreation equipment and facilities will be submitted for the City’s review.

ENVIRONMENTAL: A habitat management plan was submitted by the applicant. Based on the results of this study, the developer must obtain approval from the Florida Department of Environmental Protection prior to commencing any site construction activity.

OPEN SPACE: The developer is proposing 12.89 acres of open space to meet the thirty (30) percent PUD zoning standards.

TREE PROGRAM: The planted pine located on this site is exempt from the arbor mitigation requirements and was harvested for silviculture purposes. The maximum tree stock formula requires a total of 2,752 tree inches to be replanted onto the site. The applicant will be required to demonstrate the site meets this tree stock requirement on the final development plan or contribute into the tree bank mitigation program.

SCHOOL CAPACITY REPORT: No development activity can occur until such time that a concurrency mitigation agreement or letter has been approved by OCPS. The applicant has applied to OCPS for this agreement. The schools designated to serve this community are the following: Wheatley Elementary, Wolf Lake Middle and Apopka High School.

ORANGE COUNTY NOTIFICATION: The County was notified at the time of the land use amendment and rezoning application for this property, and coordination occurred with County planning staff regarding impact on adjacent parcels.

BUFFERS: The applicant is requesting a waiver to install a six-foot high wrought iron fence between brick columns for the perimeter wall, erected inside a ten foot landscaped buffer along Marden Road and State Road 451.

WAIVER REQUESTS

1. The applicant is requesting a waiver from LDC 2.02.07.H.1a, which requires a six-foot-high brick, stone or decorative block finished wall to be placed within a 10 foot wide buffer adjacent to Marden Road, erected inside a minimum ten-foot landscaped bufferyard. The applicant is proposing a six-foot high wrought iron fence between brick columns with additional landscaping adjacent to external roads.
 - **DRC reviewed the waiver request and can support it because the nearest building is setback at least 60 feet from the road; additional landscaping is provided; the apartment buildings are 58 feet high and four stories, preventing a wall from screening buildings form adjacent properties; and the parking lot will be screened by the buffer landscaping. Attached illustrations provided by the applicant support the DRC recommendation.**
2. The applicant is requesting a waiver from LDC 2.02.07.H.1a, which requires a six-foot-high brick, stone or decorative block finished wall adjacent to S.R. 451, erected inside a minimum ten-foot landscaped bufferyard. The applicant is requesting to eliminate portions of the perimeter fencing along the western property boundary, in lieu of an earth berm with landscaping.
 - **DRC reviewed the waiver request and can support it because S.R. 451 is elevated and additional landscaping and a berm are provided. Attached illustrations provided by the applicant support the DRC recommendation.**

PUBLIC HEARING SCHEDULE:

July 14, 2015 - Planning Commission (5:01 pm) -Tabled
July 28, 2015 - Planning Commission (5:01 pm)
August 5, 2015- City Council (1:30 pm)

RECOMMENDED ACTION:

The **Development Review Committee** recommends approval of the Marden Ridge Apartments, Phase 1B, Final Development Plan subject to the information and comments in the staff report for the property owned by Emerson Point Associates, LLLP.

The **Planning Commission**, at its meeting on July 14, 2015, tabled the Marden Ridge Apartments, Phase 1B, Final Development Plan until the July 28, 2015 meeting.

Planning Commission Recommendation: The role of the Planning Commission for this development application is to advise the City Council to approve or deny based on consistency with the Comprehensive Plan and Land Development Code which includes the following items:

1. Recommend approval of Waiver Request number 1.
2. Recommend approval of Waiver Request number 2.
3. Recommend approval of the Marden Ridge Apartments, Phase 1B, property owned by Emerson Point Associates, LLLP.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.



**Marden Ridge Apartments Phase 1B,
Final Development Plan
Emerson Point Associates, LLLP
MMI Development, Inc. c/o Michael E. Wright, Esq.
Apartments: 18.05 +/- Acres (272 Units)
42.17 +/- Total Acres
Parcel ID #: 17-21-28-0000-00-029**

VICINITY MAP



MARDEN RIDGE APARTMENTS - PHASE 1B FINAL DEVELOPMENT PLANS

PARCEL ID #17-21-28-0000-00-29

LEGAL DESCRIPTION:

(PER ORB 9799 PG 5971)

A PARCEL OF LAND LYING IN SECTIONS 17 AND 20, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF EMERSON PARK AS RECORDED IN PLAT BOOK 68, PAGES 1 THROUGH 17, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON THE WESTERLY RIGHT OF WAY LINE OF MARDEN ROAD; THENCE RUN N 00°15'45" E ALONG SAID WESTERLY RIGHT OF WAY LINE FOR A DISTANCE OF 867.57 FEET TO THE POINT OF BEGINNING; THENCE DEPARTING SAID WESTERLY RIGHT OF WAY LINE RUN THE FOLLOWING COURSES AND DISTANCES; N 79°21'18" W FOR A DISTANCE OF 250.77 FEET; THENCE RUN N 76°57'36" W FOR A DISTANCE OF 271.66 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 750.00 FEET; THENCE FROM A TANGENT BEARING OF N 69°25'55" W RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 26°46'44" FOR AN ARC DISTANCE OF 350.53 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 725.00 FEET; THENCE FROM A TANGENT BEARING OF N 38°02'17" W RUN NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 27°58'31" FOR AN ARC DISTANCE OF 353.99 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 1500.00 FEET; THENCE FROM A TANGENT BEARING OF N 01°44'32" W RUN NORTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 20°26'35" FOR AN ARC DISTANCE OF 535.20 FEET TO A POINT OF TANGENCY; THENCE RUN N 18°42'03" E FOR A DISTANCE OF 159.98 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF COUNTY ROAD 429 (WESTERN BELTWAY) PER ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5442, PAGE 3947, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA, ALSO BEING A POINT ON A NON TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 7829.44 FEET; THENCE FROM A TANGENT BEARING OF N 24°29'43" E RUN NORTHEASTERLY ALONG SAID EASTERLY RIGHT OF WAY LINE AND SAID CURVE THROUGH A CENTRAL ANGLE OF 5°02'40" FOR AN ARC DISTANCE OF 689.30 FEET; THENCE CONTINUING ALONG SAID EASTERLY RIGHT OF WAY LINE RUN N 13°07'16" E FOR A DISTANCE OF 205.68 FEET TO A POINT ON A NON TANGENT CURVE CONCAVE NORTHWESTERLY AND HAVING A RADIUS OF 7809.44 FEET; THENCE FROM A TANGENT BEARING OF N 17°57'03" E RUN NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 3°51'29" FOR AN ARC DISTANCE OF 525.85 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF COUNTY ROAD 437-A (OCCOEE APOPKA ROAD) PER OFFICIAL RECORDS BOOK 5442, PAGE 3947, OF AFORESAID PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE DEPARTING AFORESAID EASTERLY RIGHT OF WAY LINE RUN N 80°33'42" E ALONG SAID SOUTHERLY RIGHT OF WAY LINE FOR A DISTANCE OF 196.20 FEET; THENCE CONTINUING ALONG SAID SOUTHERLY RIGHT OF WAY LINE RUN N 75°23'21" E FOR A DISTANCE OF 182.73 FEET TO A POINT ON AFORESAID WESTERLY RIGHT OF WAY LINE OF MARDEN ROAD; THENCE DEPARTING SAID SOUTHERLY RIGHT OF WAY LINE RUN S 00°08'34" W FOR A DISTANCE OF 2270.18 FEET; THENCE CONTINUING ALONG SAID WESTERLY RIGHT OF WAY LINE RUN S 00°15'45" W FOR A DISTANCE OF 452.54 FEET TO AFORESAID POINT OF BEGINNING.

42.17 ACRES, MORE OR LESS.

Legal Description prepared by: On the Mark Surveying, LLC
LB 7931

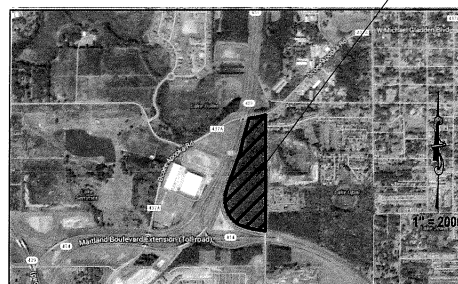
Prepared For:

EMERSON POINT ASSOCIATES, LLLP
1350 North Orange Avenue, Suite 250
Winter Park, FL 32789
(407) 385-0664

Prepared By:


gai consultants
EB 9951
618 EAST SOUTH STREET
SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT LOCATION



LOCATION MAP
CITY OF APOPKA, FLORIDA

WAIVER REQUESTS:

1. REQUEST PERIMETER BRICK WALL TO ALLOW BRICK COLUMN / IRON PICKET STYLE FENCE TO MATCH MARDEN MANOR.
2. REQUEST TO ALLOW PARTIAL FENCING ALONG WESTERN PROPERTY BOUNDARY AS SHOWN IN PLANS.

CITY OF APOPKA OFFICIALS

MAYOR: JOE KILSHEIMER
COMMISSIONER: J. WILLIAM ARROWSMITH
COMMISSIONER: BILLIE L. DEAN
COMMISSIONER: DIANE VELAZQUEZ
COMMISSIONER: SAM RUTH


UTILITY SERVICE PROVIDERS

WATER/SEWER/REUSE	ELECTRIC	TELEPHONE	CABLE	NATURAL GAS
City of Apopka 748 E. Cleveland Street Apopka, FL 32703 (407) 703-1731	Duke Energy 452 E. Crown Point Road Winter Garden, Florida 34787 (407) 905-3302	Century Link P.O. Box 770339 Winter Garden, Florida 34777 (407) 814-5373	Bright House 844 Maguire Road Ocoee, Florida 34761 (407) 291-2500	Lake Apopka Natural Gas 676 W. Montrose Street Clermont, FL 32701 (352) 394-3480

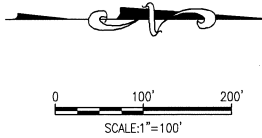
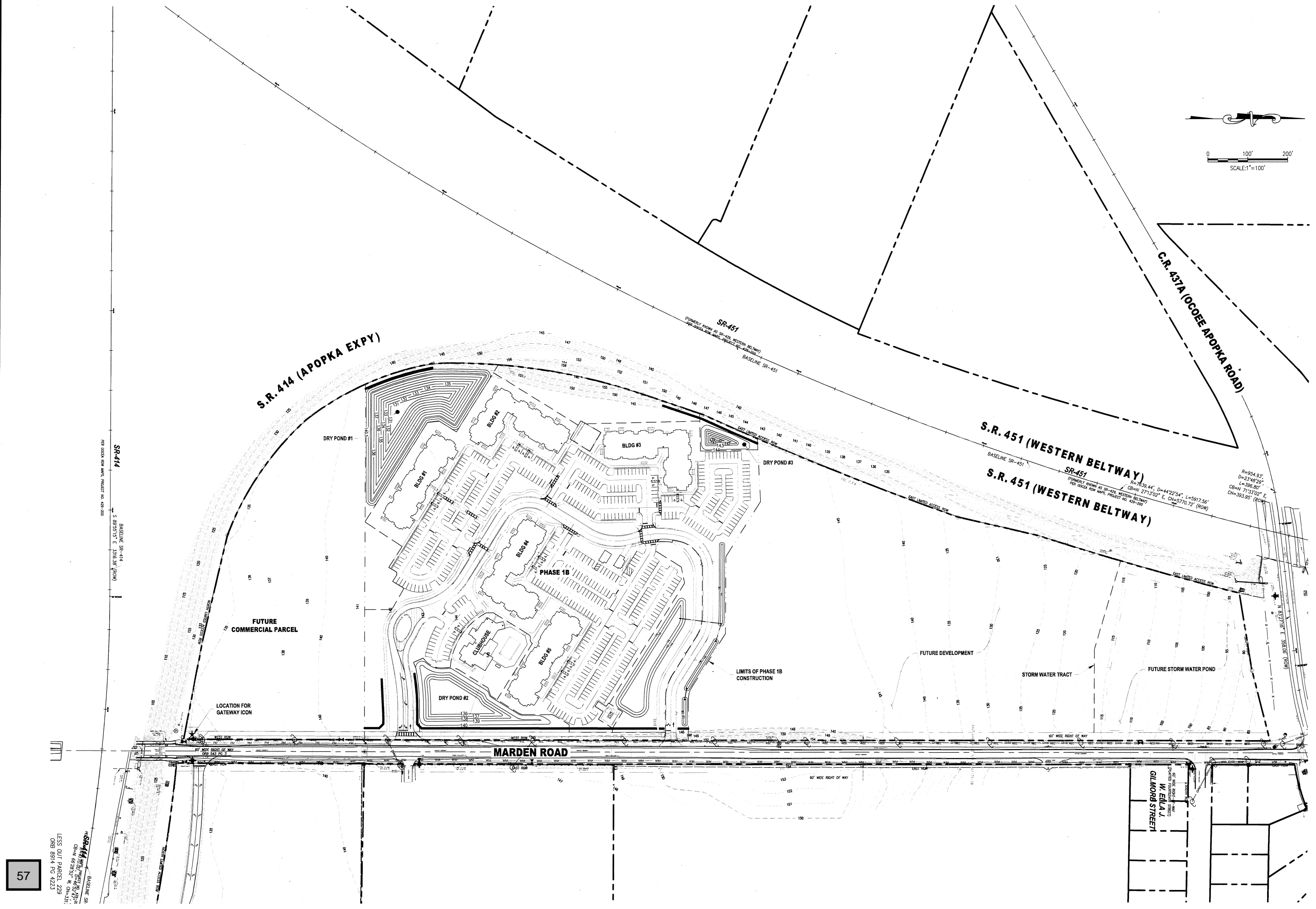
CONTACT LIST

OWNER/APPLICANT EMERSON POINT ASSOCIATES, LLLP 1350 North Orange Avenue, Suite 250 Winter Park, FL 32789 (407) 385-0664 Attn: Tommy Ciserano	CIVIL ENGINEER GAI Consultants, Inc. 618 East South Street Suite 700 Orlando, Florida 32801 (407) 423-8398 Attn: Anthony S. Call, P.E.	SURVEYOR On The Mark Surveying, LLC 143 Meadow Blvd. Sanford, FL 32771 (321) 626-6376 Attn: Corey A. Hopkins, PSM	LANDSCAPE ARCHITECT Bellomo-Herbert 618 East South Street Suite 600 Orlando, Florida 32801 (407) 423-8398 ATTN: Frank Bellomo	ARCHITECT Forum Architecture & Interior Design, Inc. 745 Orienta Avenue, Suite 1121 Altamonte Springs, FL 32701 (407) 830-1400 ATTN: Andrew Roark	GEOTECHNICAL ENGINEER Andreyev Engineering, Inc. 1170 West Minneola Avenue Clermont, FL 34711 (352) 241-0508 ATTN: Ed Miguens, P.E.
--	---	---	--	---	---

Sheet Number	Sheet Title
C0.00	COVER SHEET
C1.00	EXISTING CONDITIONS
C1.10	EXISTING SITE DATA
C1.20	GENERAL NOTES
C1.21	GENERAL NOTES
C1.30	PHASING PLAN
C2.00	SWPPP
C2.10	EROSION CONTROL PLAN
C2.20	DESIGN STANDARDS
C3.00	MASTER SITE PLAN
C3.10	SITE PLAN PHASE 1B
C3.20	MARDEN ROAD IMPROVEMENT PLAN
C3.30	SIGNAGE & STRIPING PLAN
C3.40	TRACT DESIGNATION PLAN
C4.00	TYPICAL SECTIONS
C5.00	MASTER GRADING PLAN
C5.10	GRADING PLAN PHASE 1B
C5.10A	GRADING PLAN PHASE 1B
C5.20	GRADING PLAN PHASE 1B
C5.30	GRADING PLAN PHASE 1B
C5.40	DRY POND 1 CROSECTION
C6.00	MASTER UTILITY PLAN
C7.00	DEVELOPMENT DESIGN STANDARD DETAILS
C7.10	DEVELOPMENT DESIGN STANDARD DETAILS
C7.20	UTILITY DETAILS
C7.30	UTILITY DETAILS
C7.40	DRAINAGE DETAILS
C7.50	LIFT STATION DETAILS
C7.60	LIFT STATION DETAILS
C7.70	ARCHITECTURAL BUILDING ELEVATIONS
C7.80	ARCHITECTURAL BUILDING ELEVATIONS
C7.90	ARCHITECTURAL BUILDING ELEVATIONS
LA.01	LANDSCAPE PLAN
LA.02	LANDSCAPE PLAN
IR.01	IRRIGATION PLAN
IR.02	IRRIGATION PLAN
IR.03	IRRIGATION PLAN
HS.02	LANDSCAPE PLAN (SOUTH)
HA.02	LANDSCAPE PLAN (SOUTH)
L-1	LIGHTING PLANS
L-2	LIGHTING PLANS
L-3	LIGHTING PLANS

RECEIVED FOR USE COMMENTS DATED 07/10/2015 INCLD FOR CITY COMMENT	APPRO	DESCRIPION
ASC	ASC	
ASC	CHKD	
AP	DRN	
1 7/10/2015	DATE	
1 6/10/2015	DATE	
NO.		
SCALE: N/A		
DATE: 6/01/2015		
DRAWN: AP/MJC		
CHECKED: NCG		
APPROVED: ASC		
COVER SHEET		
MARDEN RIDGE APARTMENTS - PHASE 1B FINAL DEVELOPMENT PLANS APOPKA, FLORIDA		
SEAL		
ANTHONY S. CALL, P.E. No. 67370		
 gai consultants EB 9951 618 SOUTH ST. SUITE 700 ORLANDO, FLORIDA 32801 PHONE: (407) 423-8398		
PROJECT NO./DASH NO. A120273.01		
SHEET		
C0.00		

Z:\ComDev\2012\112023.03 - emerson-wright\CAD\Civil\plan set - final development plans\A12023.03_P1.dwg Jul 13, 2015 - 12:04pm



REVISIONS					
NO.	DATE	BY	CHKD.	APPD.	DESCRIPTION
2	07/17/2015	AP	ASC		REVISED PER OIC COMMENTS DATED 07/10/2015
1	6/19/2015				REVISED PER CITY COMMENT

SCALE: 1"=100'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

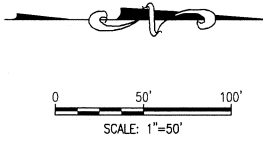
PHASING PLAN
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

ANTHONY S. CALL, P.E.
 No. 67370

gai consultants
 EB 9951
 618 SOUTH ST., SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-6398

PROJECT NO./DASH NO.
 A12023.03
 SHEET
C1.30



S.R. 414 (APOPKA EXPY)

COMMERCIAL AREA OF 6.43 ACRES
WILL BE DEVELOPED IN THE FUTURE IN
ACCORDANCE WITH THE CURRENT LDC

DRY POND #1

DRY POND #3

DRY POND #2

SWALE F1

SWALE F3

SWALE F2

SWALE F4

MARDEN ROAD

REVISIONS		
NO.	DATE	DESCRIPTION
1	6/18/2015	REVISED PER CITY COMMENT
2	07/13/2015	REVISED PER IRC COMMENT DATED 07/10/2015

SCALE: 1"=50'
DATE: 6/01/2015
DRAWN: AP/MJC
CHECKED: NCG
APPROVED: ASC

SITE PLAN PHASE 1B
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

ANTHONY S. CALL, P.E.
No. 67370

gai consultants
EB 9951
618 SOUTH ST., SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03
SHEET
C3.10

Z:\ComDev\2012\0120273.03 - emerson-wright\CAD\Civil\plan_set - final_development_plans\A120273_03_SP.dwg Jul 13, 2015 - 12:10pm

FUTURE BUS SHELTER AND TURNOUT
SHOWN FOR INFORMATIONAL PURPOSES ONLY
(WILL NOT BE CONSTRUCTED WITH PHASE 1B)

SEE SHEET C3.20 FOR MARDEN RD IMPROVEMENTS

NOTES:

EXISTING PROPERTY VEGETATION:
PINE TREE FARM

FLOOD ZONE:
SUBJECT PROPERTY SHOWN HEREON IS IN ZONE X SEE SHEET C1.10 FOR THE FLOOD INSURANCE RATE MAP PANEL NUMBER.

SOILS:
SHOWN ACCORDING TO THE SOIL SURVEY OF ORANGE COUNTY, FLORIDA, SEE SHEET C1.10.

SIGNAGE:
ALL SIGNAGE SHALL COMPLY WITH CITY OF APOPKA CODES, AND FDOT MUTCD.

LIGHTING:
LIGHTING SHALL COMPLY WITH CITY OF APOPKA CODES. ILLUMINATION PLAN REQUIRED AT FINAL DEVELOPMENT PLAN.

STORMWATER:
STORMWATER MANAGEMENT SYSTEM WILL BE DESIGNED TO COMPLY WITH CITY OF APOPKA CODE AND THE REQUIREMENTS OF THE ST. JOHNS RIVER WATER MANAGEMENT DISTRICT AND APPROVED WITH THE FINAL DEVELOPMENT PLANS.

WATER AND SEWER:
SEWER AND WATER TO BE PROVIDED VIA PRIVATE ONSITE SYSTEM CONNECTED TO THE CITY OF APOPKA UTILITIES WATER MAIN, SEWER FORCE MAIN AND RECLAIM WATER MAIN WITHIN THE MARDEN ROAD RIGHT OF WAY. LIFT STATION WILL BE OWNED AND MAINTAINED BY THE CITY OF APOPKA. THE LIFT STATION TRACT WILL BE DEEDED TO THE CITY.

- RECREATIONAL FACILITIES:**
- ALL RECREATIONAL FACILITIES WILL BE OWNED AND MAINTAINED BY THE OWNER OF THE APARTMENT COMPLEX.
 - LOCK BOXES FOR EMERGENCY ACCESS SHALL BE PROVIDED FOR POOL BUILDING/PATIO AND OFFICE BUILDING.
 - FINAL DETAILS FOR COURT TYPE AND LAYOUT, TOT LOT, PICNIC AND OTHER EQUIPMENT WILL BE PROVIDED FOR CITY APPROVAL ON THE FINAL DEVELOPMENT PLANS.
 - FINAL POOL SIZING AND DESIGN SHALL BE PROVIDED AT THE TIME OF FINAL DEVELOPMENT PLANS.
 - A LETTER FROM THE FL. DEPT. OF HEALTH (OR APPROPRIATE AGENCY) MUST BE SUBMITTED TO COMMUNITY DEVELOPMENT DEPARTMENT AT TIME OF FINAL DEV. PLAN TO AFFIRM THE MINIMUM SIZE OF THE POOL.
 - RECREATIONAL PROGRAM TO INCLUDE THE FOLLOWING: BARK PARK, TOT LOT, PICNIC AND GATHERING AREAS, BBQ LOCATIONS AND OTHER EQUIPMENT. THIS WILL BE PROVIDED WITH FINAL DEVELOPMENT PLAN.
 - ALL RECREATION AMENITIES AND OFFSITE IMPROVEMENTS TO BE COMPLETED AND OPERATIONAL PRIOR TO THE ISSUANCE OF THE FIRST CERTIFICATION OF OCCUPANCY

ACCESS & TRAFFIC GENERATION:
ACCESS TO THE PUBLIC ROAD SYSTEM WILL BE VIA MARDEN ROAD. THE MAXIMUM PROJECTED TRAFFIC GENERATION FOR THIS PROJECT IS 287 PM PEAK HOUR TRIPS PER THE SITE TRIP GENERATION MANUAL, 7TH EDITION, FOR LAND USE 220 - APARTMENTS.

PEDESTRIAN ACCESS:
SIDEWALKS TO BE 5' WIDE UNLESS OTHERWISE NOTED ON PLANS.

SCHOOL CONCURRENCY:
THIS PROPERTY HAS A WAIVER FROM SCHOOL CONCURRENCY, ACTIVE UNTIL 2018.

AMENITIES:
TO ASSURE THAT QUALITY RESIDENTIAL DEVELOPMENT IS CONSTRUCTED, THE FOLLOWING AMENITIES ARE PROPOSED AND WILL BE INCLUDED WITH THE PROJECT:
CLUBHOUSE WILL INCLUDE WIRELESS HIGH SPEED INTERNET, BUSINESS CENTER, FITNESS CENTER, KITCHEN AREA WITH SINGS, REFRIGERATOR AND MICROWAVE AND RESORT-STYLE SWIMMING POOL WITH OUTDOOR FIREPLACE. UNITS WILL INCLUDE ENERGY-EFFICIENT APPLIANCES, FULL SIZE WASHER AND DRYER AVAILABLE IN 2 AND 3 BEDROOM APARTMENTS, FULL OR STACKED WASHER AND DRYER AVAILABLE IN 1 BEDROOM APARTMENTS, WALK-IN CLOSETS, BICYCLE TRAILS, BICYCLE RACKS, BICYCLE AND STORAGE AREAS, GRANITE COUNTER TOPS, 9-FOOT CEILINGS. NO COIN LAUNDRY CENTER ALLOWED.

PARKING AREAS:
IN ACCORDANCE WITH CITY OF APOPKA REGULATIONS, 20% OF PARKING SPACES SHALL HAVE PERVIOUS PARKING SURFACE. SEE PLANS FOR LOCATIONS.

- DEVELOPMENT DESIGN STANDARD:**
- ARCHITECTURAL DESIGN AND COLORWAY OF MULTI-FAMILY BUILDINGS WILL BE COMPATIBLE WITH COMMERCIAL OUT-PARCELS.
 - ALL SERVICE AND STORAGE AREAS MUST BE SCREENED FROM PUBLIC VIEW.
 - ALL EQUIPMENT (INCLUDING ROOF TOP) AND UTILITY BOXES MUST BE FULLY SCREENED (INCLUDING THE BACK OF THE BUILDING).
 - ADDRESS NUMBER BEING PLACED ON BUILDING SHALL BE MINIMUM OF 6" IN HEIGHT

MONUMENT SIGN:
MONUMENT AND SIGN EASEMENT SHALL BE DEDICATED TO THE CITY OF APOPKA. ENTRY FEATURE DETAIL WILL BE PROVIDED WITH THESE PLANS

MULTI-USE TRAIL:
MAINTENANCE AUTHORITY AND OWNERSHIP OF MULTI-USE TRAIL TO BE DETERMINED AT THE FDP.

CROSS-ACCESS EASEMENT:
FUTURE BUYER OF COMMERCIAL TRACT (SOUTH OF PHASE 1B APARTMENTS) AND FUTURE BUYER OF MULTI-FAMILY TRACT (NORTH OF PHASE 1B APARTMENTS) WILL BE REQUIRED TO MAKE NECESSARY CONNECTION POINTS WITHIN ENVELOPE OF CROSS-ACCESS EASEMENT. CROSS-ACCESS EASEMENTS WILL BE RECORDED WITH FINAL PLAT.

PROPOSED UNITS: MULTIFAMILY RESIDENTIAL APARTMENTS						
UNIT MIX PHASE 1B	BUILDING NUMBER	BUILDING HEIGHT	3 BED	2 BED	1 BED	TOTAL
TYPE I	1, 5	58'	8 X 2	28 X 2	16 X 2	52 X 2
TYPE II	2, 3, 4	58'	8 X 3	40 X 3	8 X 3	56 X 3
TOTALS:						272

LAND AREA FOR CONSTRUCTION:

6.64 ACRES COMMERCIAL (CLEAR, MASS GRADE, VERTICAL CONSTR. - INCLUDING 0.21 ACRES ROW DEDICATION)

35.53 ACRES OF R-3 (CLEAR, MASS GRADE, CONSTRUCT JOINT USE POND, VERTICAL CONSTR. - INCLUDING 1.04 ACRES FOR ROW DEDICATION)

NOTE THAT EXISTING MARDEN ROAD RIGHT OF WAY IS 60'. FUTURE RIGHT OF WAY DEDICATION IS SHOWN IN THIS SET OF PLANS AND WILL INCLUDE 20' ON EITHER SIDE MAKING THE FUTURE RIGHT OF WAY 100'. THE TRAFFIC STUDY SHOWS A PROPOSED FUTURE ROW DEDICATION OF 25' WHICH IS INCORRECT.

PHASING INTENT OF THE PROJECT:

THE PROJECT WILL BE CONSTRUCTED IN MULTIPLE PHASES, CONSISTING OF PHASE 1A - MASS GRADING PLANS AND PHASE 1B, THE FINAL DEVELOPMENT PLANS HEREIN. ANYTHING BEYOND PHASE 1B SITE DEVELOPMENT WILL BE IDENTIFIED AS FUTURE DEVELOPMENT.

SITE DATA		
OVERALL SITE		
PARCEL ID	17-21-28-0000-00-029	
PARCEL AREA	42.17	ACRES
FUTURE COMMERCIAL	6.43	ACRES
EMERSON POINTE APARTMENTS	18.05	ACRES
FUTURE DEVELOPMENT	16.09	ACRES
PROPOSED ROW DEDICATION	1.25	ACRES
STORMWATER FACILITIES	5.80	ACRES
PROPOSED UNITS	272	(3) TYPE IV 56-UNIT; (2) TYPE III 52-UNIT BLDGS.
PROPOSED DENSITY	15.0 DU/AC	MAX 15 DU/AC
OPEN SPACE	APPROX. 12.69 AC. (30.1%)	30% REQUIRED
MAXIMUM MEAN BUILDING HEIGHT:	58' (4 STORY)	
MINIMUM BUILDING SETBACK:	25' FROM BOUNDARY	
FUTURE LAND USE:	MEDIUM DENSITY RESIDENTIAL/GROWTH CENTER	
CURRENT ZONING:	PUD/R3	
COMMERCIAL ZONING	C-1 (NOT PART OF THIS PERMIT. WILL BE DEVELOPED AT A LATER DATE)	
PROJECTED POPULATION		
(2.88 PERSONS/UNIT)(2.1X272)	784	INDIVIDUALS
SCHOOL AGE POPULATION (272X0.235)	64	CHILDREN (SEE NOTES)
BUFFER REQUIRED	10' LANDSCAPE BUFFER FOR PARKING AND ACCESS WAYS. ADJACENT TO LOCAL ROAD ROW.	
RECREATION REQUIRED:		
(3.6 ACRES/1,000 PERSONS)	2.92	ACRES
RECREATION PROVIDED:	2.98	ACRES
ACTIVE REC	0.67	ACRES
PASSIVE REC	2.30	ACRES
TYPE OF UNITS	MULTI-FAMILY	
MINIMUM LIVING AREA (UNDER AIR)	750 SQ. FT.	
PARKING PROVIDED		
	REQUIRED	PROVIDED
STANDARD SPACES (9' x 18')	544 SPACES (2 SPACES/UNIT)	526
A.D.A. ACCESSIBLE SPACES (12' x 18')	11 SPACES (2% OF TOTAL)	22
PERVIOUS PARKING (9' x 18')	109 SPACES (20% OF TOTAL)	110
TOTAL PROVIDED UNIT PARKS		546

NO.	DATE	BY	DESCRIPTION
1	6/16/2015	ASC	REVISED PER DRC COMMENTS DATED 07/10/2015
2	07/17/2015	ASC	REVISED PER CITY COMMENT

SCALE: N/A
DATE: 6/01/2015
DRAWN: AP/MJC
CHECKED: NCG
APPROVED: ASC

DESIGN STANDARDS
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

ANTHONY S. CALL, P.E.
No. 67370

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03

SHEET
C2.20



FIBER CEMENT 6" LAP SIDING, PAINTED, TYP.

FIBER CEMENT SHINGLE SIDING, PAINTED, TYP.

FIBER CEMENT 6" LAP SIDING, PAINTED, TYP.

STUCCO, PAINTED, TYP.

STUCCO, PAINTED, TYP.

SHEET NOTES

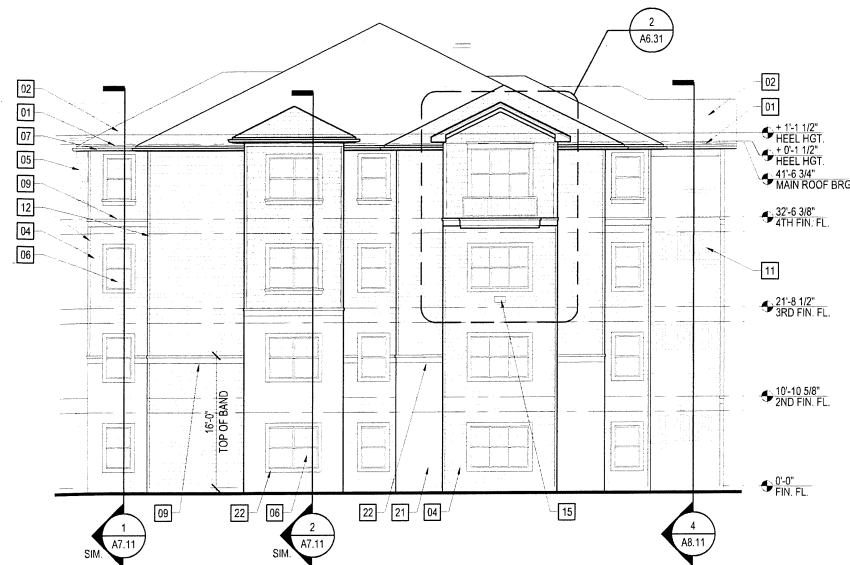
- A REFER TO SHEET A1.03 FOR GENERAL NOTES
- B REFER TO SHEETS A1.04 AND A1.05 FOR CONSTRUCTION ASSEMBLIES
- C REFER TO SHEET A9.11 FOR DOOR SCHEDULE & DETAILS
- D REFER TO SHEET A9.21 FOR WINDOW SCHEDULE & DETAILS
- E ALL BANDS TO RETURN TO INTERIOR CORNERS
- F REFER TO ROOF PLANS ON A5.13 AND A5.24 FOR DOWNSPOUT LOCATIONS. COORDINATE WITH SITE DRAINAGE PLANS

KEY NOTES

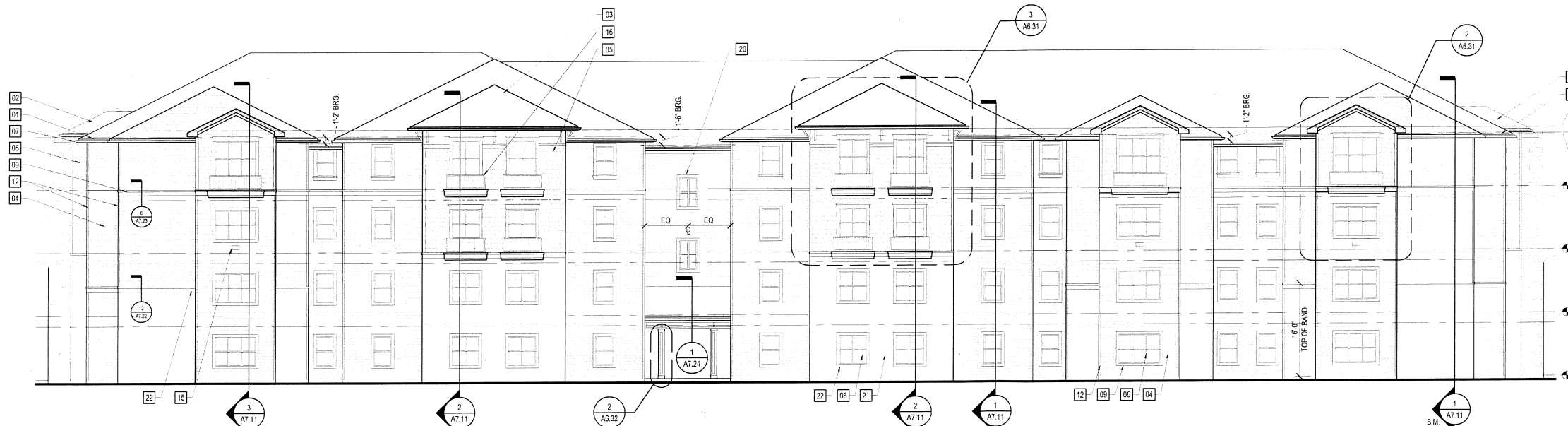
- 01 TYPICAL FASCIA TRIM: ALUM. CLAD P.T. FASCIA PER SECTIONS
- 02 ROOF SHINGLES SYSTEM PER ASSEMBLY
- 03 STANDING SEAM METAL ROOF PANELS
- 04 FIBER CEMENT HORIZONTAL LAP SIDING W/ 6" EXPOSURE
- 05 FIBER CEMENT SHINGLE SIDING
- 06 WINDOWS & DOORS PER SCHEDULES. SEE WINDOW DETAILS
- 07 CONTINUOUS, SEAMLESS ALUM GUTTERS & DOWNSPOUTS: PROVIDE WHERE INDICATED ON ROOF PLANS
- 08 BUILDING SIGN @ FRONT OF BUILDING: CONTRACTOR TO VERIFY SIGNAGE REQUIREMENTS W/ FIRE DEPT. & COORDINATE SIGN LOCATION WITH BLDG LIGHTING.
- 09 TRIM BAND: PROVIDE FIBER CEMENT TRIM BOARD SIZES PER SECTIONS. UNO. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS. REFER TO SECTIONS
- 10 FIBER CEMENT PANEL. JOINTS SHALL OCCUR UNDER TRIM PIECES SHOWN ON ELEVATIONS (BALCONY PANELS WILL NEED TO BE CUT FROM 8' SHEETS. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS EXCEED 8' W/O TRIM PIECES).
- 11 ALUMINUM BALCONY RAILING: 42" HIGH GUARDRAIL WITH VERTICAL PICKETS SPACED SUCH THAT A 4" SPHERE CAN NOT PASS THROUGH THE GAPS. ALL ENDS ATTACHED TO WALL.
- 12 ONE-PIECE CORNER TRIM: 5/4 X 4 X 4 AZEK OR EQUIV.
- 13 DECORATIVE FAUX-LOUVER PER DETAIL 6/A6.32
- 14 BRACKET PER DETAIL
- 15 WALL-MOUNTED SITE LIGHTING FIXTURE LOCATION. REFER TO ELECTRICAL SITE PLAN. COORDINATE WITH BLDG. SIGNAGE LOCATION.
- 16 DECORATIVE ALUMINUM RAILING W/ 6" PICKET SPACING AT FAUX-BALCONY. REFER TO SECTIONS FOR DETAILS
- 17 ALIGN PANEL JOINTS W/ CENTERLINE OF COL. & COVER W/ 1X4 FIBER CEMENT TRIM VERTICALLY
- 18 DECORATIVE 1 1/2" SQ. ALUMINUM FRAME SIZED AS SHOWN. BLACK FINISH.
- 19 DROPPED BULKHEAD (MAX. 6"). REFER TO BUILDING PLANS FOR LOCATIONS.
- 20 DECORATIVE FAUX SHUTTERS PER DETAIL 7/A6.32
- 21 STUCCO PER ASSEMBLY
- 22 TRIM BAND: PROVIDE RAISED STUCCO TRIM BAND AS INDICATED ON ELEVATIONS. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS

STUCCO THICKNESS LEGEND

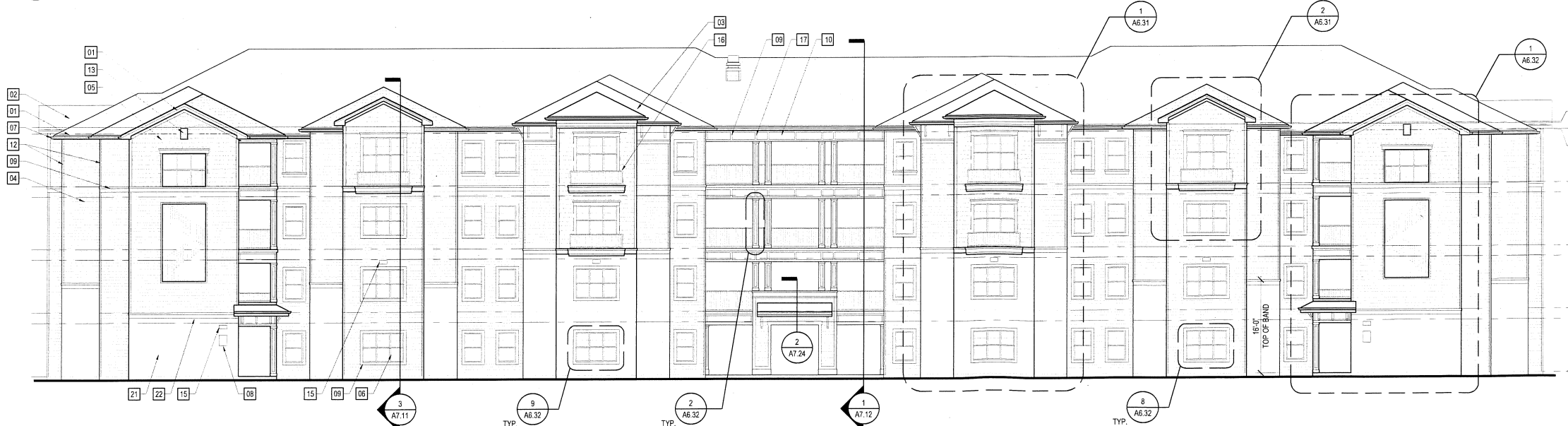
0	7/8"	STUCCO
1	1 1/2"	STUCCO TRIM
2	2"	STUCCO TRIM



3 Right Side Elevation
Left Side Similar
3/32" = 1'-0"



2 Rear Elevation
3/32" = 1'-0"



1 Front Elevation
3/32" = 1'-0"

Marden Ridge Apartments

City of Apopka, FL
03/27/2015

SET DISTRIBUTIONS:
3/27/2015 Permit Set

△ SHEET REVISIONS:

EDITED BY: LB
PROJECT NO. 14-3051

Elevations

Building Type I

A6.11

**Marden Ridge
Apartments**

City of Apopka, FL

03/27/2015

SET DISTRIBUTIONS:

3/27/2015 Permit Set

SHEET REVISIONS:

SHEET NOTES

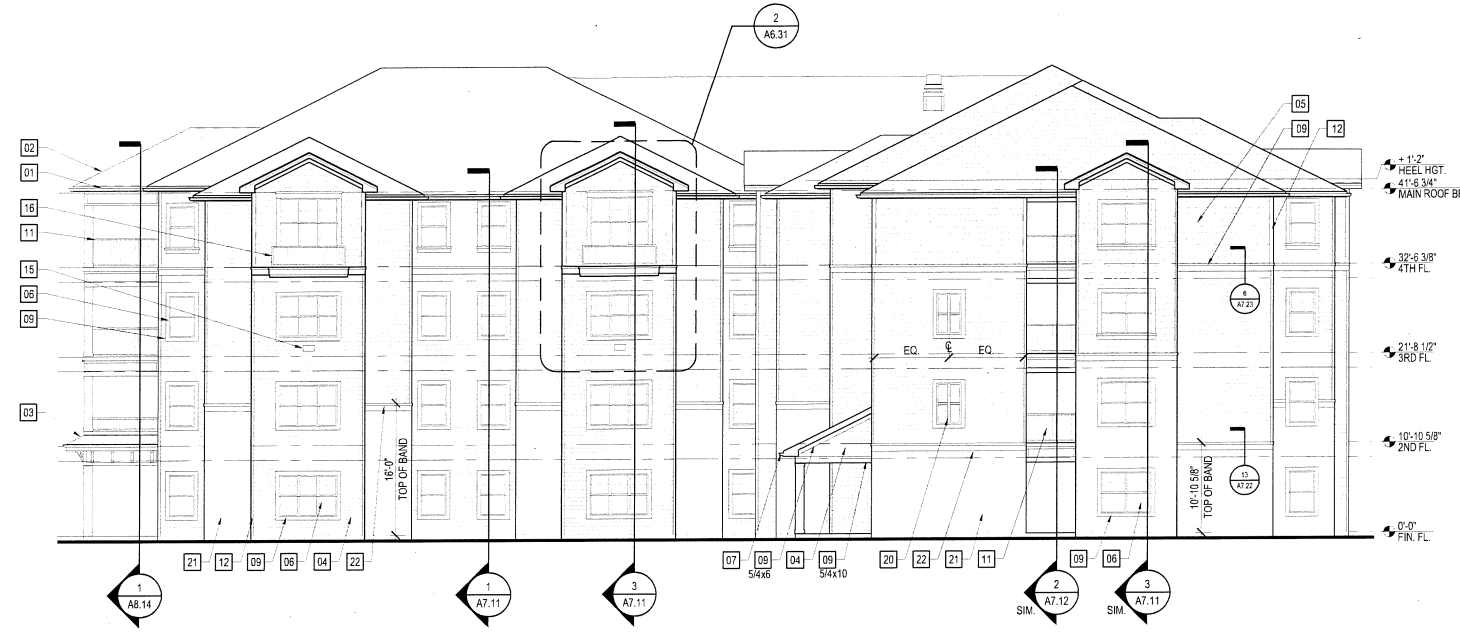
- A REFER TO SHEET A1.03 FOR GENERAL NOTES
- B REFER TO SHEETS A1.04 AND A1.05 FOR CONSTRUCTION ASSEMBLIES
- C REFER TO SHEET A9.11 FOR DOOR SCHEDULE & DETAILS
- D REFER TO SHEET A9.21 FOR WINDOW SCHEDULE & DETAILS
- E ALL BANDS TO RETURN TO INTERIOR CORNERS
- F REFER TO ROOF PLANS ON A5.13 AND A5.24 FOR DOWNSPOUT LOCATIONS. COORDINATE WITH SITE DRAINAGE PLANS

KEY NOTES

- 01 TYPICAL FASCIA TRIM: ALUM. CLAD P.T. FASCIA PER SECTIONS
- 02 ROOF SHINGLES SYSTEM PER ASSEMBLY
- 03 STANDING SEAM METAL ROOF PANELS
- 04 FIBER CEMENT HORIZONTAL LAP SIDING W/ 6" EXPOSURE
- 05 FIBER CEMENT SHINGLE SIDING
- 06 WINDOWS & DOORS PER SCHEDULES. SEE WINDOW DETAILS
- 07 CONTINUOUS, SEAMLESS ALUM GUTTERS & DOWNSPOUTS: PROVIDE WHERE INDICATED ON ROOF PLANS
- 08 BUILDING SIGN @ FRONT OF BUILDING. CONTRACTOR TO VERIFY SIGNAGE REQUIREMENTS W/ FIRE DEPT. & COORDINATE SIGN LOCATION WITH BLDG LIGHTING.
- 09 TRIM BAND: PROVIDE FIBER CEMENT TRIM BOARD SIZES PER SECTIONS, UNO. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS. REFER TO SECTIONS
- 10 FIBER CEMENT PANEL. JOINTS SHALL OCCUR UNDER TRIM PIECES SHOWN ON ELEVATIONS (BALCONY PANELS WILL NEED TO BE CUT FROM 8' SHEETS. NOTIFY ARCHITECT IMMEDIATELY IF FIELD CONDITIONS EXCEED 8' W/O TRIM PIECES).
- 11 ALUMINUM BALCONY RAILING: 42" HIGH GUARDRAIL WITH VERTICAL PICKETS SPACED SUCH THAT A 4" SPHERE CAN NOT PASS THROUGH THE GAPS. ALL ENDS ATTACHED TO WALL.
- 12 ONE-PIECE CORNER TRIM: 5/4 X 4 X 4-AZEK OR EQUIV.
- 13 DECORATIVE FAUX-LOUVER PER DETAIL 6/A6.32
- 14 BRACKET PER DETAIL
- 15 WALL-MOUNTED SITE LIGHTING FIXTURE LOCATION. REFER TO ELECTRICAL SITE PLAN. COORDINATE WITH BLDG. SIGNAGE LOCATION.
- 16 DECORATIVE ALUMINUM RAILING W/ 6" PICKET SPACING AT FAUX-BALCONY. REFER TO SECTIONS FOR DETAILS.
- 17 ALIGN PANEL JOINTS W/ CENTERLINE OF COL. & COVER W/ 1X4 FIBER CEMENT TRIM VERTICALLY
- 18 DECORATIVE 1 1/2" SQ. ALUMINUM FRAME SIZED AS SHOWN. BLACK FINISH.
- 19 DROPPED BULKHEAD (MAX. 6"). REFER TO BUILDING PLANS FOR LOCATIONS.
- 20 DECORATIVE FAUX SHUTTERS PER DETAIL 7/A6.32
- 21 STUCCO PER ASSEMBLY
- 22 TRIM BAND: PROVIDE RAISED STUCCO TRIM BAND AS INDICATED ON ELEVATIONS. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS

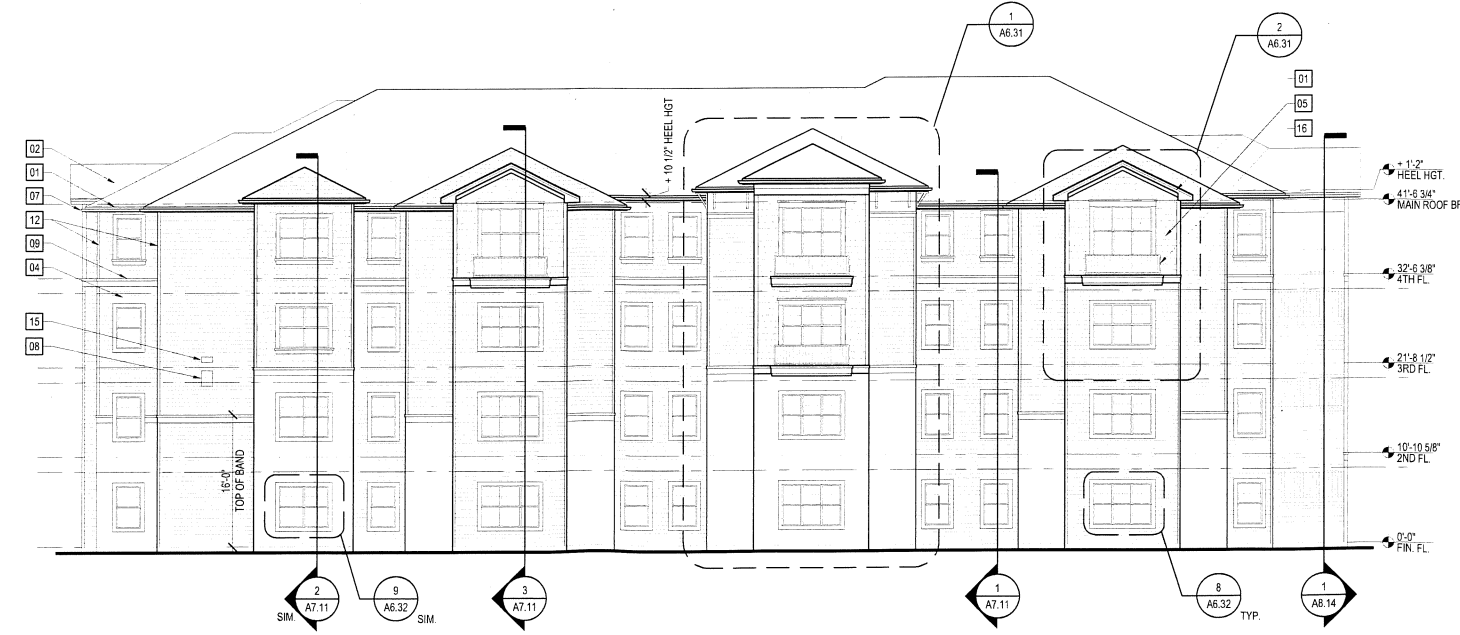
STUCCO THICKNESS LEGEND

0	7/8"	STUCCO
1	1 1/2"	STUCCO TRIM
2	2"	STUCCO TRIM



2 Right Exterior Elevation

3/32" = 1'-0"



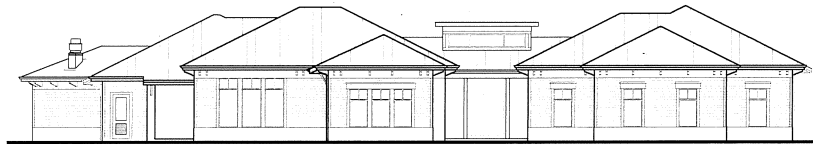
1 Left Exterior Elevation

3/32" = 1'-0"

© FORUM ARCHITECTURE & INTERIOR DESIGN, INC. These documents and their contents are the property of Forum Architecture & Interior Design, Inc. and are issued only for the specific project noted on these drawings. Any reproduction, revision, or modification of these documents without the expressed written consent of Forum Architecture & Interior Design, Inc. is prohibited by law.

Marden Ridge Clubhouse

City of Apopka, FL



Owner . MMI DEVELOPMENT

1350 N Orange Avenue, Suite 228 | Winter Park . Florida . 32789
P: 407.494.0664 | F: 407.540.9630

Architect . FORUM ARCHITECTURE & INTERIOR DESIGN, INC.

745 Orienta Avenue . Suite 1121 | Altamonte Springs . Florida . 32701
P: 407.830.1400 | F: 407.830.4143 | E: aroark@forumarchitecture.com

Structural Engineer . STRUCTURAL CONCEPTS & DESIGN, LLC.

2989 West State Road 434, Suite 300 | Longwood . Florida . 32779
P: 407.682.2086 | F: 407.682.2386 | E: cscroggins@structuralconcepts-design.com

P.M.E. Engineer . SGM ENGINEERING, INC.

935 Lake Baldwin Lane | Orlando . Florida . 32814
P: 407.767.5188 | F: 407.767.5772 | E: victor@sgmengineering.com

PROJECT INFORMATION

PROJECT SCOPE

1-STORY WOOD FRAME BUILDING W/ LOAD BEARING EXTERIOR WALLS

GOVERNING BODIES

CITY OF APOPKA, FL - BUILDING DIVISION - PHONE (407) 703-1713

BUILDING CODES

FLORIDA BUILDING CODE, BUILDING (FBC-B)	2010 EDITION
FLORIDA ACCESSIBILITY CODE (FAC-BC)	2012 EDITION
FLORIDA BUILDING CODE, MECHANICAL (FBC-M)	2010 EDITION
FLORIDA BUILDING CODE, ENERGY CONSERVATION (FBC-EC)	2010 EDITION
FLORIDA BUILDING CODE, FUEL GAS (FBC-FG)	2010 EDITION
FLORIDA BUILDING CODE, PLUMBING (FBC-P)	2010 EDITION
FLORIDA FIRE PREVENTION CODE (FFPC)	5th EDITION
NATIONAL ELECTRICAL CODE (NEC)	2008 EDITION

CLUBHOUSE CODE COMPLIANCE

OCCUPANCY TYPE	A3 - ASSEMBLY (NO STAGE)
CONSTRUCTION TYPE	TYPE V-B, UNSPRINKLERED
AREA & HEIGHT LIMITATION (FBC-B TABLE 503)	REQUIRED/ALLOWED
MAX HEIGHT	40' / 25'-0"
MAX NUMBER OF STORIES	1 STORIES / 1 STORIES
MAXIMUM AREA PER FLOOR	PER AREA MODIFICATION SHOWN BELOW

FIRE PROTECTION (IBC TABLE 601 & 602):

STRUCTURAL FRAME	0 HR	0 HR
EXTERIOR BEARING WALLS	0 HR	0 HR
INTERIOR BEARING WALLS	0 HR	0 HR
INTERIOR NON-BEARING WALLS	0 HR	0 HR
EXTERIOR NON-BEARING WALLS	0 HR	0 HR
FLOOR CONSTRUCTION	0 HR	0 HR
ROOF CONSTRUCTION	0 HR	0 HR

FIRE RESISTANCE RATING

BASED ON SEPARATION DISTANCE ≥ 10'-0"	0 HR	0 HR
---------------------------------------	------	------

AREA OF MODIFICATION CALCULATIONS

DUE TO FRONTAGE INCREASE, PER FBC-B 506-2.			
CLUBHOUSE	FRONTAGE INCREASE	ALLOWABLE AREA	PROVIDED
W = 30	$I_f = [441'-3" / 441'-3" - 0.25] 30 / 30$	6,000 SF (TABLE 503)	
F = 441'-3"	$I_f = [1 - 0.25] 30 / 30$	+ [6,000 X 0.75]	
P = 441'-3"	$I_f = .75$	10,500 SF	6,415 SF

INTERIOR FINISHES

EXIT ENCLOSURE & PASSAGEWAYS	= B
CORRIDORS	= B
ROOM & ENCLOSED SPACES	= C

PLUMBING FIXTURE & CALCULATIONS

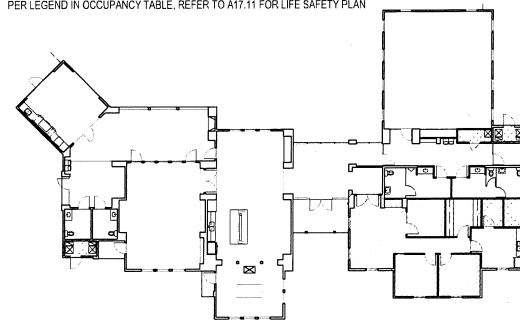
TOTAL OCCUPANTS	175 OCCUPANTS		
ASSUMED 50% MEN	88 OCCUPANTS		
ASSUMED 50% WOMEN	88 OCCUPANTS		
		REQUIRED	PROVIDED
MEN'S ROOM FIXTURES			
WATER CLOSETS (1 PER 125)		1	1
LAVATORIES (1 PER 200)		1	2
URINALS		0	1
WOMEN'S ROOM FIXTURES			
WATER CLOSETS (1 PER 65)		2	2
LAVATORIES (1 PER 200)		1	2
OTHER FIXTURES			
SERVICE SINK		1	1
ELECTRIC WATER COOLER (1 PER 500)		1	1 HI-LO

BUILDING AREA TABLE

BLDG. TYPE	A/C AREA	N-A/C AREA	TOTAL AREA
CLUBHOUSE	4,976 SF	1,439 SF	6,415 SF

CLUBHOUSE OCCUPANCY DIAGRAM

PER LEGEND IN OCCUPANCY TABLE, REFER TO A17.11 FOR LIFE SAFETY PLAN



CLUBHOUSE OCCUPANCY & MEANS OF EGRESS

OCCUPANCY LOAD (PER FBC 1004.1) GROUP: A3		
ASSEMBLY	AREA / FLOOR AREA PER OCC.	OCCUPANTS
CLUBROOM	589 SQ.FT. / 15 SQ.FT.	39.3
CYBER CAFE	867 SQ.FT. / 15 SQ.FT.	57.8
FITNESS (W/ EQUIP.)	917 SQ.FT. / 50 SQ.FT.	18.3
PATIO	474 SQ.FT. / 15 SQ.FT.	31.6
SUMMER KITCHEN	252 SQ.FT. / 15 SQ.FT.	16.8
BUSINESS		
LEASING OFFICE	1030 SQ.FT. / 100 SQ.FT.	10.3
(INCLUDES OFFICES, & FILING AREAS)		
ACCESSORY AREAS		
MECH. CLOSETS & STORAGE	226 SQ.FT. / 300 SQ.FT.	0.8
TOTAL		175 PERSONS
TRAVEL DISTANCE (FBC-B TABLE 1016.1)		
	REQUIRED	PROVIDED
	200'	63'-5"
EXITING REQUIREMENTS (FBC-B TABLE 1019.1)		
	2 EXITS	2+ EXITS

DRAWING INDEX

ARCHITECTURAL DRAWINGS

- A17.01 Title Sheet, Drawing Index, Code Compliance & Issue History
- A17.02 General Notes & Construction Assemblies
- A17.11 Life Safety Plan
- A2.01 Architectural Site Plan
- A17.21 Architectural Slab Plan

STRUCTURAL DRAWINGS

- S17.31 General Structural Notes
- S17.32 Structural Sections & Details
- S17.33 Structural Sections & Details
- S17.34 Structural Sections & Details
- S17.35 Structural Sections & Details
- S17.36 Structural Sections & Details
- S17.37 Structural Sections & Details
- S17.38 Structural Sections & Details
- S17.39 Structural Sections & Details
- S17.41 Foundation Plan
- S17.42 Roof Framing Plan

ARCHITECTURAL DRAWINGS

- A17.51 Dimension Floor Plan
- A17.52 Note & Reflected Ceiling Plan
- A17.53 Roof Plan
- A17.54 Enlarged Plans, Interior Elevations & Accessibility Details
- A17.55 Enlarged Plans, Interior Elevations & Accessibility Details
- A17.61 Exterior Elevations
- A17.71 Building Sections
- A17.72 Wall Sections & Details
- A17.73 Wall Sections & Details
- A17.74 Section Details
- A17.75 Section Details
- A17.76 Finish Plan Details
- A17.77 Penetration & Window Installation Details
- A17.91 Door Schedule & Details
- A17.92 Window Schedule & Details
- A17.93 Storefront Schedule & Details

PLUMBING DRAWINGS

- P18.21 Plumbing Floor Plan
- P18.22 Plumbing Riser Diagrams
- P18.23 Plumbing Schedules & Details

MECHANICAL DRAWINGS

- M18.31 Mechanical Floor Plan
- M18.32 Mechanical Roof Plan
- M18.33 Mechanical Schedules
- M18.34 Mechanical Details
- M18.35 Vent Hood Details and Information

ELECTRICAL DRAWINGS

- E16.00 Electrical Symbols, Legend & General Notes
- E16.01L Electrical Site Plan - LED
- E16.02L Photometric Site Plan - LED
- E16.03 Site Lighting Spec Sheets - LED
- E18.41 Lighting Floor Plan
- E18.42 Power Floor Plan
- E18.43 Electrical Schedules & Details

FORUM

ARCHITECTURE &
INTERIOR DESIGN, INC.

PLANNING | ARCHITECTURE | INTERIOR DESIGN

745 orienta avenue, suite 1121
altamonte springs, fl 32701
phone: 407.830.1400
fax: 407.830.4143
AA0002731
www.forumarchitecture.com

Marden Ridge Apartments

City of Apopka, FL

03/27/2015

SET DISTRIBUTIONS:

3/27/2015 Permit Set

SHEET REVISIONS:

EDITED BY: KM RL

PROJECT NO. 14-3051

Clubhouse

Title Sheet, Drawing
Index, Code Compliance
& Issue History

A17.01

ISSUE HISTORY

3/27/2015 Permit Set

**Marden Ridge
Apartments**

City of Apopka, FL

03/27/2015

SET DISTRIBUTIONS:

3/27/2015 Permt Set

△ SHEET REVISIONS:

EDITED BY: CJD

PROJECT NO. 14-3051

Clubhouse

Exterior Elevations

A17.61

SHEET NOTES

- A REFER TO SHEET A17.02 FOR GENERAL NOTES
- B REFER TO SHEETS A17.03 FOR CONSTRUCTION ASSEMBLIES
- C REFER TO SHEET A17.91 THROUGH A17.93 FOR DOOR, WINDOW & STOREFRONT SCHEDULES & DETAILS
- D REFER TO, AND COORDINATE WITH, INTERIOR FINISH SCHEDULE AND SEPARATE DOCUMENTS PREPARED BY INTERIOR DESIGNER AND/OR OWNER, WHEN APPLICABLE, FOR SPECIFIC PAINT SELECTIONS, COLORS, FINISH TEXTURES, AND OTHER REQUIREMENTS.
- E ALL EXTERIOR VENTS AND EQUIPMENT THAT ARE VISIBLE ON EXTERIOR OF BUILDING SHALL BE PAINTED A COLOR TO MATCH THE ADJACENT SURFACE, UNO.
- F ALL COLOR TRANSITIONS SHALL BE ON THE INSIDE CORNERS, UNLESS OTHERWISE SPECIFIED IN COLOR STUDY ELEVATIONS.
- G CONTACT THE OWNER OR ARCHITECT IF THERE ARE ANY QUESTIONS PRIOR TO PAINTING.
- H PREPARATION AND APPLICATION OF PRIMER AND FINISH PAINT PRODUCTS SHALL BE DONE PER THE MANUFACTURER'S WRITTEN INSTRUCTIONS.

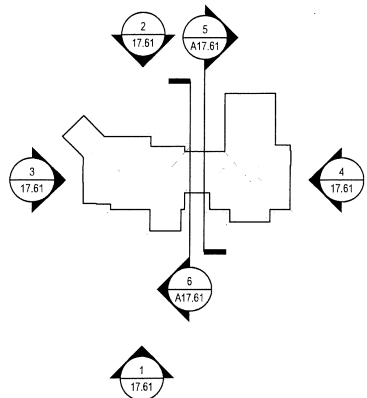
KEY NOTES

- 01 TYPICAL FASCIA TRIM AT PITCHED EAVES: ALUM. CLAD P.T. FASCIA PER SECTIONS
- 02 STANDING SEAM METAL ROOF SYSTEM PER ASSEMBLY
- 03 CEMENT PLASTER - REFER TO LEGEND BELOW FOR THICKNESS
- 04 FIBER CEMENT HORIZONTAL LAP SIDING W/ 6" EXPOSURE
- 05 WINDOWS & DOORS PER SCHEDULES. SEE DETAILS
- 06 CONTINUOUS, SEAMLESS ALUM GUTTERS & DOWNSPOUT; PROVIDE WHERE INDICATED AND COORDINATE FOR SITE DRAINAGE AS NECESSARY. REFER TO ROOF PLAN.
- 07 FIBER CEMENT PANEL. SIZE PER SECTION DETAILS
- 08 FIBER CEMENT TRIM BOARD SIZES PER SECTIONS, UNO. PROVIDE ALL REQUIRED FLASHING FOR SPECIFIC CONDITIONS. REFER TO SECTIONS
- 09 ONE-PIECE CORNER TRIM: 5/4 X 4 X 4 AZEK OR EQUIV.
- 10 DECORATIVE PRE-FINISHED BRACKET PER DETAIL 7/A17.61
- 11 ANODIZED ALUMINUM SCREEN ENCLOSURE W/ DOORS AS SHOWN ON FLOOR PLANS
- 12 CEMENT PLASTER CONTROL JOINT
- 13 EXHAUST FAN PER MECHANICAL

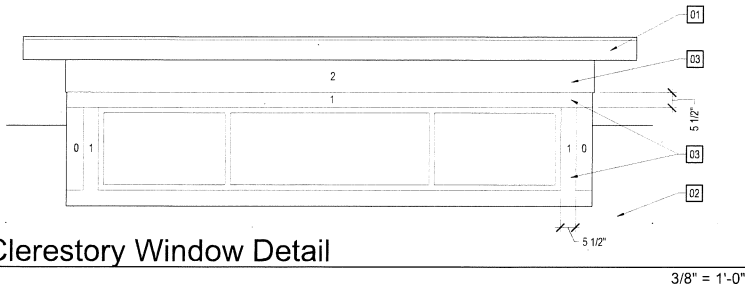
CEMENT PLASTER LEGEND

- 0 7/8" REINFORCED CEMENT PLASTER
- 1 1 1/4" REINFORCED CEMENT PLASTER
- 2 2" REINFORCED CEMENT PLASTER

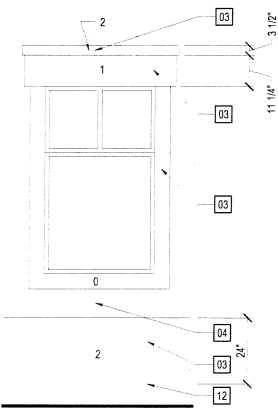
KEY PLAN



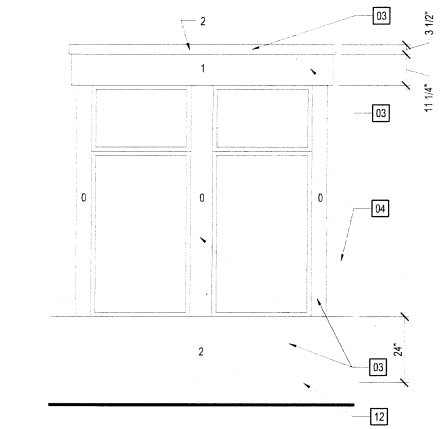
10 Clerestory Window Detail
3/8" = 1'-0"



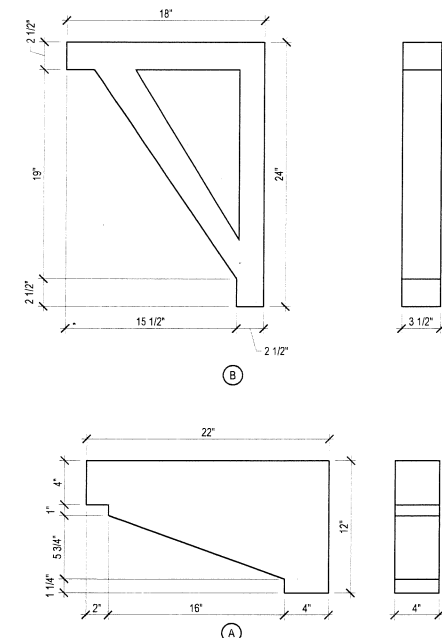
9 Window Trim Detail
3/8" = 1'-0"



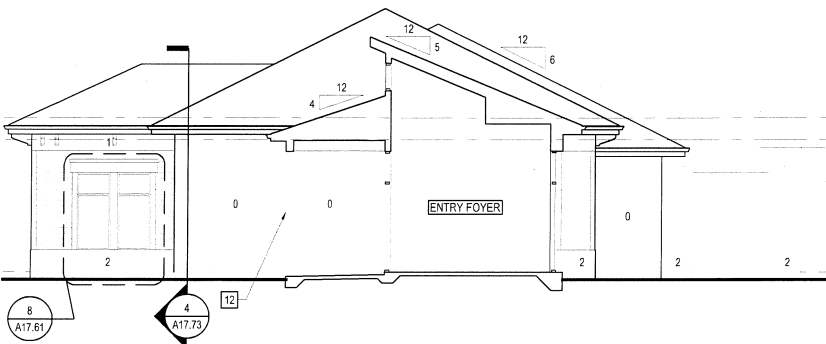
8 Window Trim Detail
Triple Window Similar
3/8" = 1'-0"



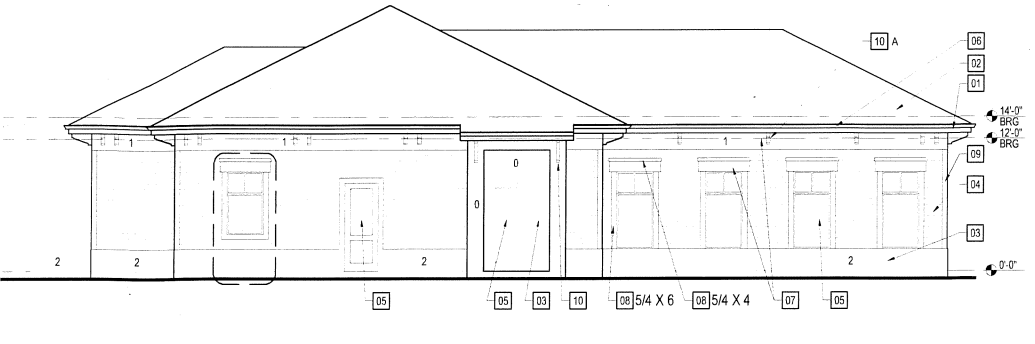
7 Bracket Details
1-1/2" = 1'-0"



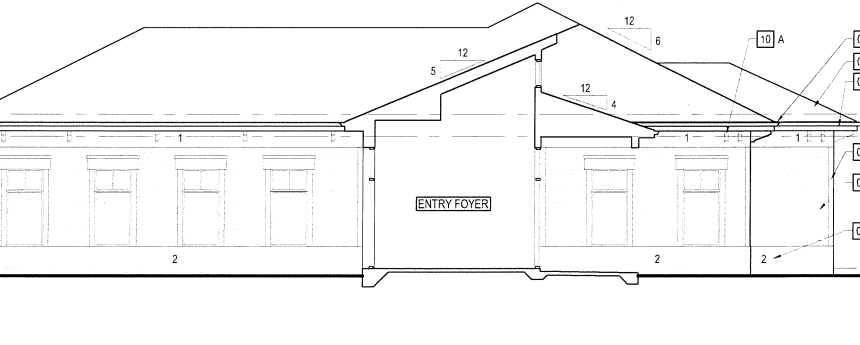
6 Inside Elevation
1/8" = 1'-0"



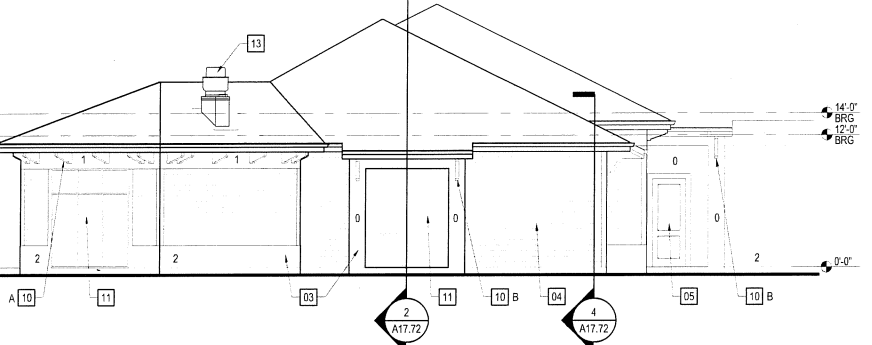
4 Side Elevation
1/8" = 1'-0"



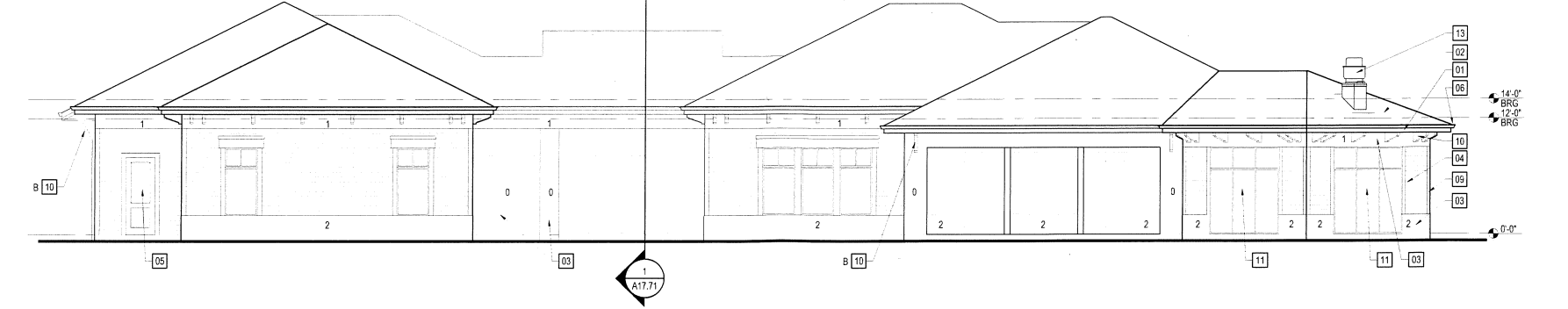
5 Inside Elevation
1/8" = 1'-0"



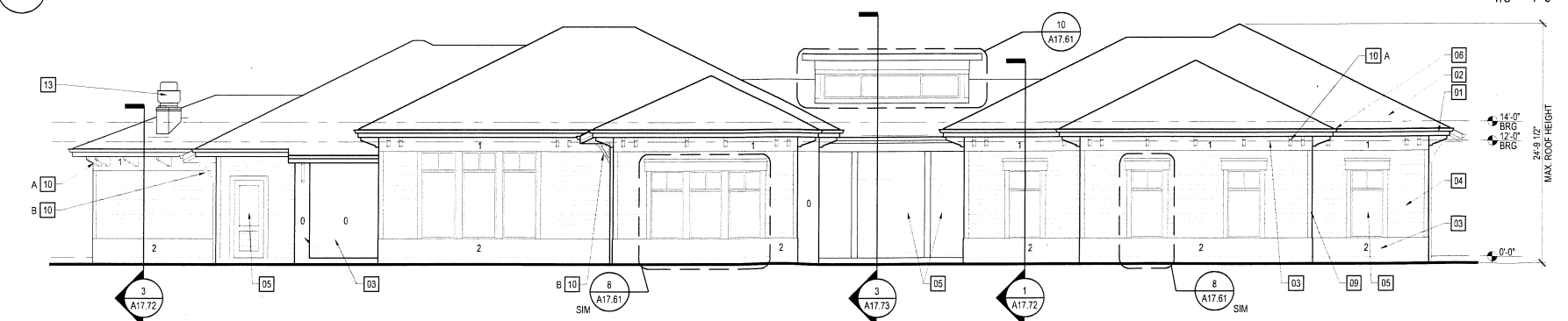
3 Side Elevation
1/8" = 1'-0"



2 Rear Elevation
1/8" = 1'-0"



1 Front Elevation
1/8" = 1'-0"





(S.R.451 - Refer to Waiver #2)

NO.	DATE	BY	CHKD	APPROV	REVISIONS
2	07/13/2015	AP	NCS	ASC	REVISED PER DDC COMMENTS DATED 07/10/2015
1	6/01/2015	AP	NCS	ASC	REVISED PER CITY COMMENT

SCALE: 1" = 50'

DATE: 6/01/2015

DRAWN: AP/MJC

CHECKED: NCG

APPROVED: ASC

LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

SEAL

RUTH PERRY, RLA
 No. LA0001530

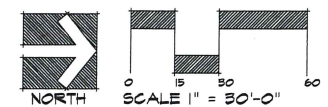
gai consultants
 EB 9951
 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A120273.03

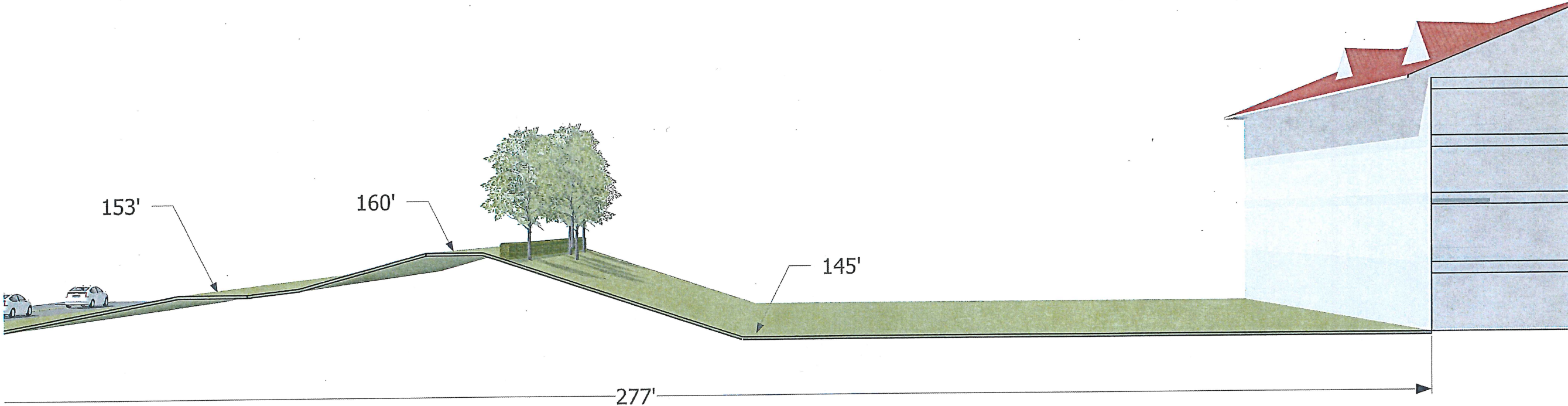
SHEET
LA.02

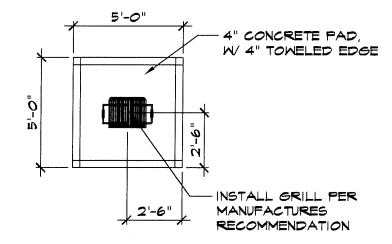
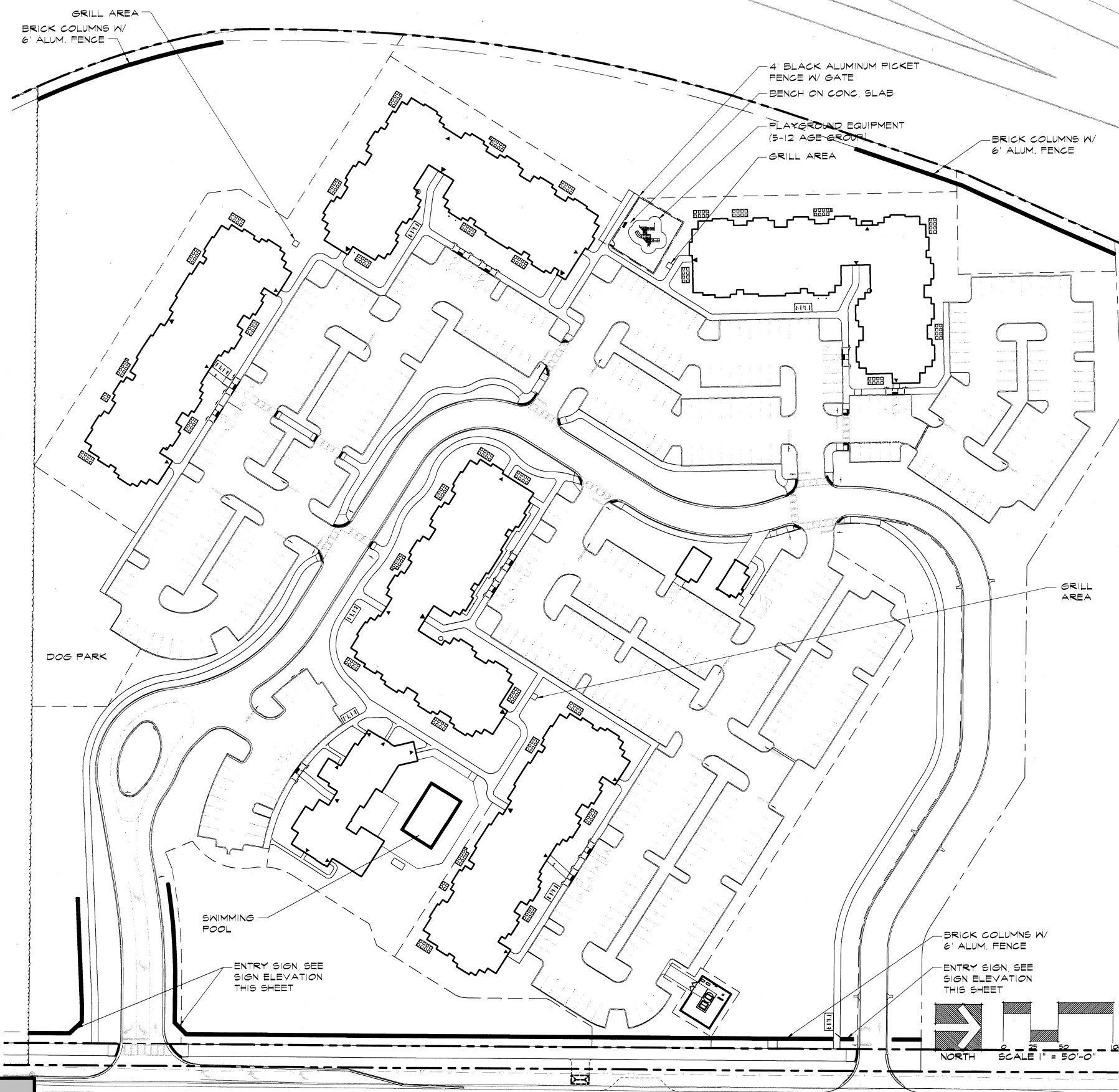
LANDSCAPE AND IRRIGATION DESIGN
 I VERIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008, WHICH ESTABLISHES WATER-WISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE _____ RES. NO. _____ DATE _____



(S.R.451 - Refer to Waiver #2)



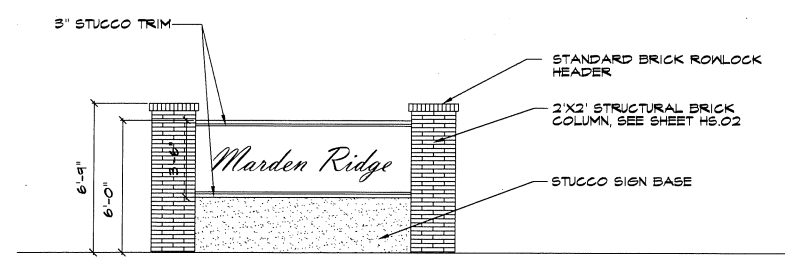


SINGLE GRILL - PLAN
 1/4" = 1'-0" FILE NAME: grill plan view

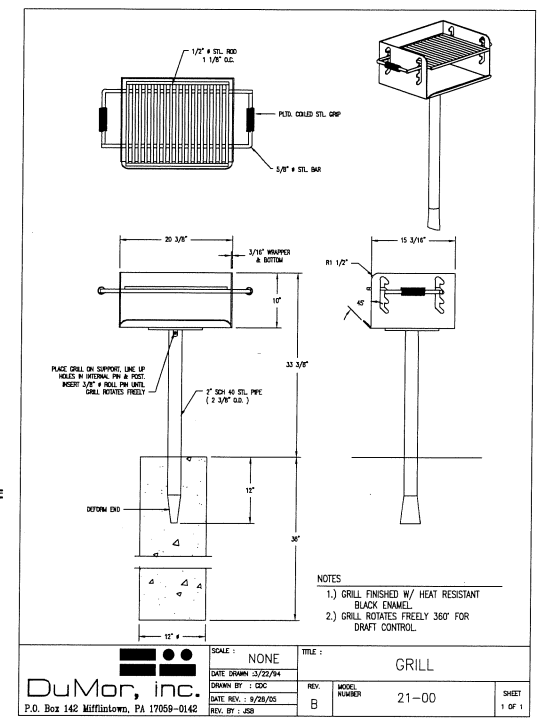
SITE FURNISHING LIST	QTY
PLAYGROUND - BY PLAYSENSE MODEL# 1005 WITH PLAYGROUND MULCH - BY LANDSCAPE STRUCTURES	1
6' BENCH - BY DU MOR, MODEL #58-60	1
OUTDOOR GRILL - BY DU MOR, MODEL #21-00	3

SWIMMING POOL NOTES:
 POOL DIMENSIONS - 30' X 48.5'
 TOTAL GALLONS - 38,070
 AVERAGE DEPTH - 3.5'

- NOTES:**
- INSTALL BENCHES PER MANUFACTURE RECOMMENDATION. CONTRACTOR TO PROVIDE 4" X 8" X 4" THICK CONCRETE UNDER BENCHES.
 - INSTALL PLAYGROUND EQUIPMENT AND PLAYGROUND SURFACING PER MANUFACTURES RECOMMENDATION.



SIGN ELEVATION
 1/4" = 1'-0"



DuMor, inc.
 P.O. Box 142 Millville, PA 17059-0142

SCALE: NONE	TITLE: GRILL
DATE DRAWN: 3/22/14	REV: MODEL NUMBER
DRAWN BY: J. SSC	REV: B
DATE REV: 8/28/09	REV: 21-00
DATE REV: 8/28/09	REV: 1 OF 1

NO.	DATE	BY	CHKD	APPRD	DESCRIPTION
1	6/18/2015				REVISED PER CITY COMMENT

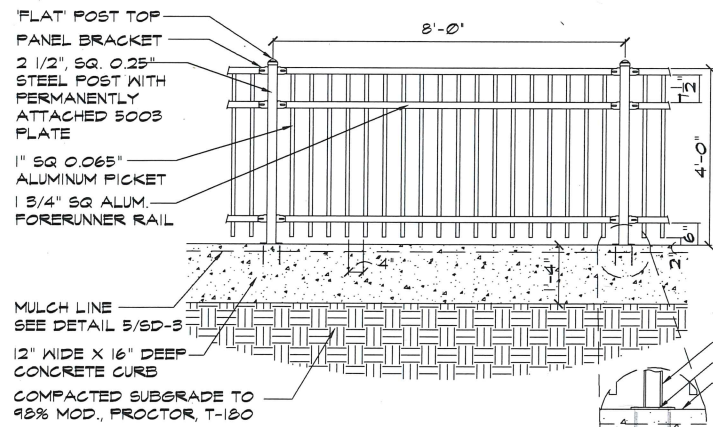
SCALE: 1" = 50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

LANDSCAPE PLAN (SOUTH)
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA

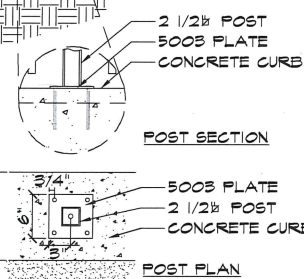
RUTH PERRY, FLA
 No. LA0001530

gai consultants
 EB 9951
 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

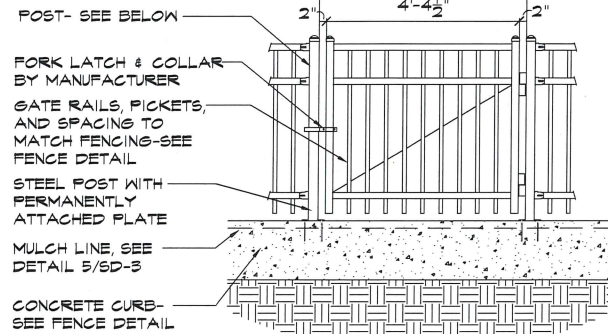
PROJECT NO./DASH NO.
 A120273.03
 SHEET
HS.01



FENCE DETAIL
 4 FT. TALL ALUMINUM PICKET FENCE WITH STEEL POST.
 ECHELON II INDUSTRIAL ALUMINUM MAJESTIC 3-RAIL
 FENCE BY AMERISTAR, (800) 321-8724, OR
 APPROVED EQUAL. POWDERCOAT FINISH, COLOR:
 BLACK.
 INSTALL PER MANUFACTURERS SPECIFICATIONS.



NOTE: LATCH, HINGES, AND
 FASTENERS TO BE ALUMINUM,
 POWDER-COATED BLACK.

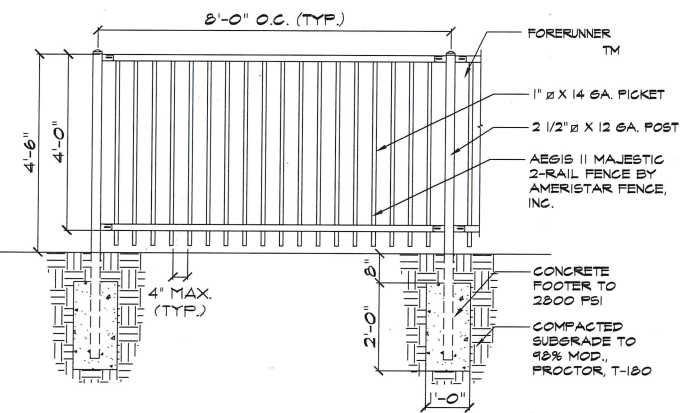


GATE DETAIL
 GATE TO MATCH FENCING, BELOW. 4 FT. TALL ALUMINUM
 PICKET FENCE SWING GATE. ECHELON II INDUSTRIAL ALUMINUM
 MAJESTIC 3-RAIL FENCE BY AMERISTAR, (800) 321-8724, OR
 APPROVED EQUAL.
 POWDERCOAT FINISH, COLOR: BLACK.

FENCE AND GATE AROUND KIDS' PLAY AREA & DOG PARK

1/2" = 1'-0"

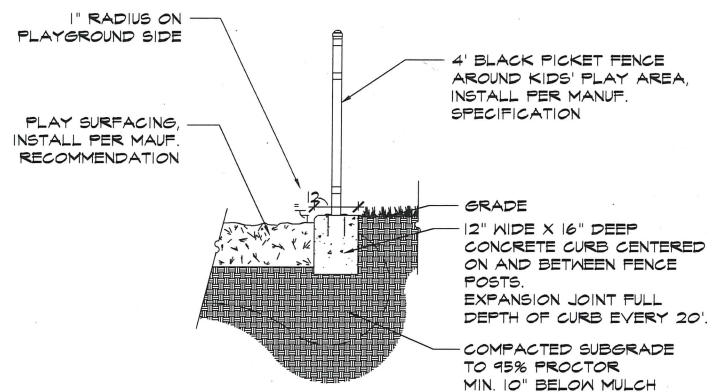
FILE NAME: play-fence-elev



POOL FENCE

1/2" = 1'-0"

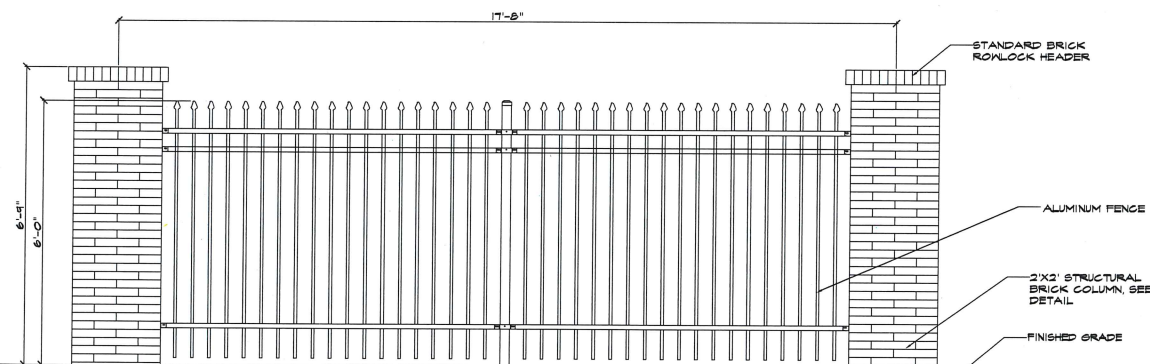
pool fence



PLAY AREA CURB/FENCE DETAIL

1/2" = 1'-0"

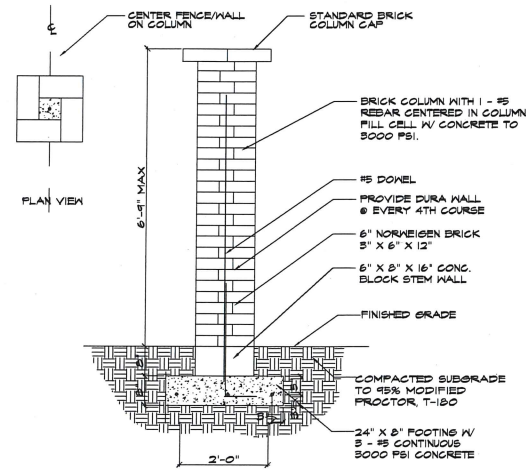
FILE NAME: play-mulch



TYPICAL COLUMN/FENCE ELEVATION (PERIMETER FENCE)

1/2" = 1'-0"

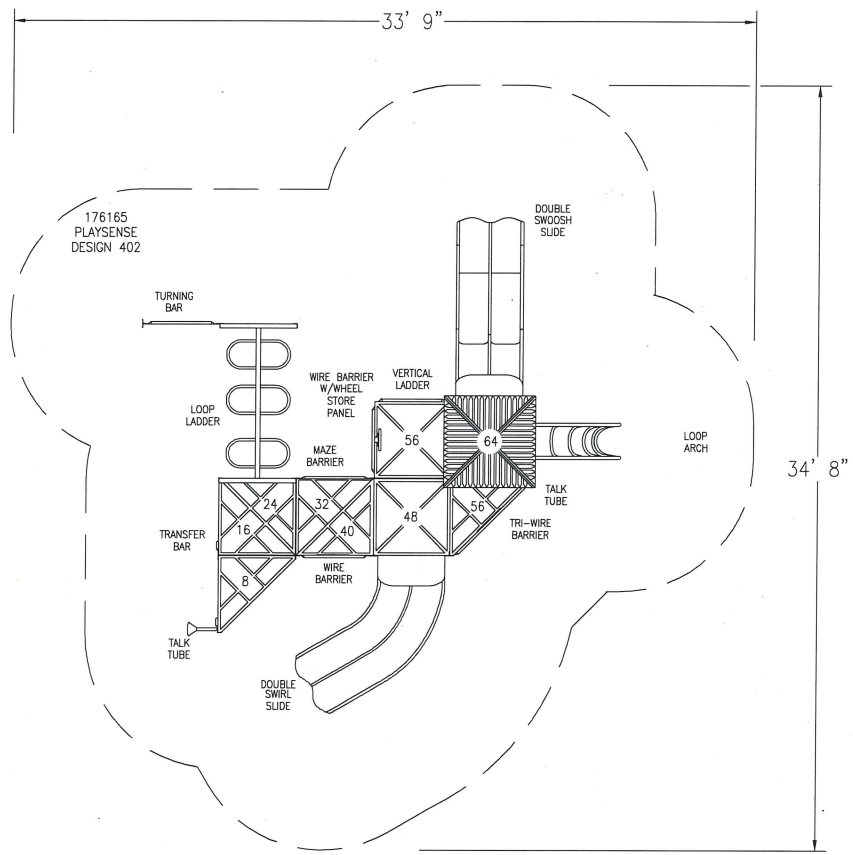
FILE NAME: xr-brick-fence wall elev



COLUMN SECTION (PERIMETER FENCE)

1/2" = 1'-0"

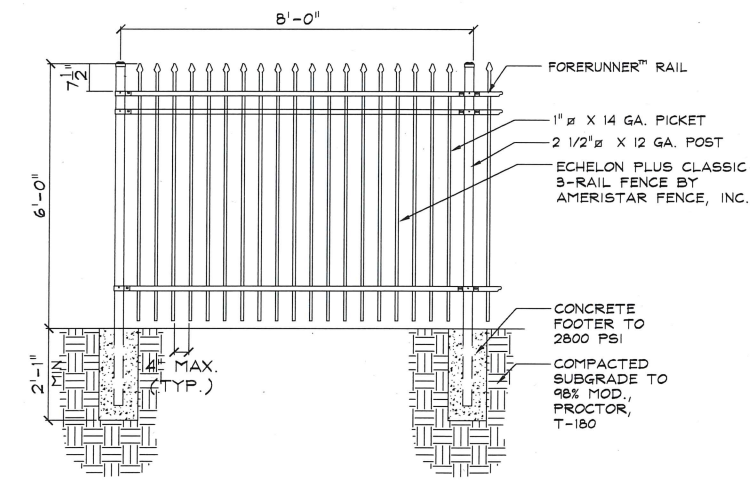
FILE NAME: xr-brick column



PLAYGROUND EQUIPMENT



PLAYGROUND EQUIPMENT IMAGE



6' ALUMINUM FENCE (PERIMETER FENCE)

1/2" = 1'-0"

xr-6' fence - ameristar

LANDSCAPE PLAN (SOUTH)

**MARDEN RIDGE APARTMENTS - PHASE 1B
 FINAL DEVELOPMENT PLANS
 APOPKA, FLORIDA**

NO.	DATE	BY	CHKD	APPROV	DESCRIPTION
1	6/18/2015				REVISED PER CITY COMMENT

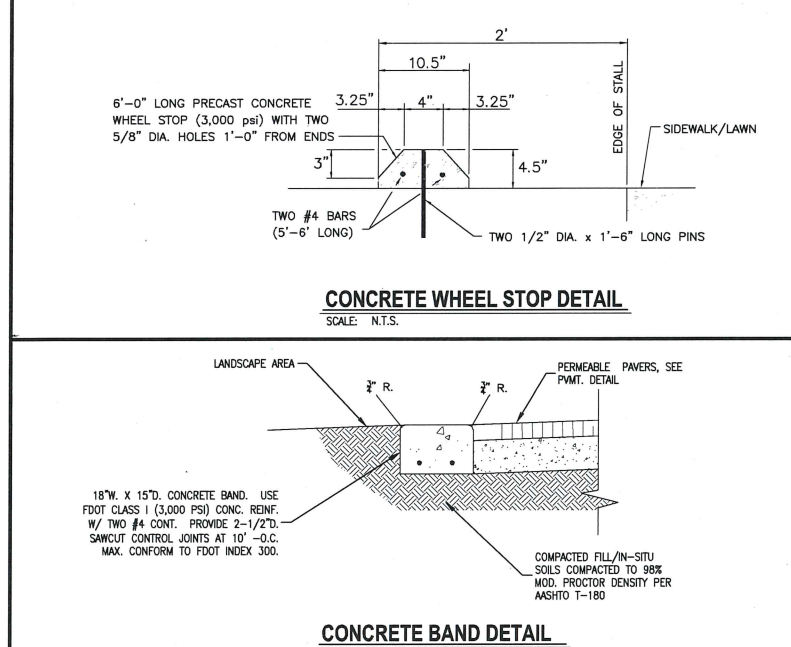
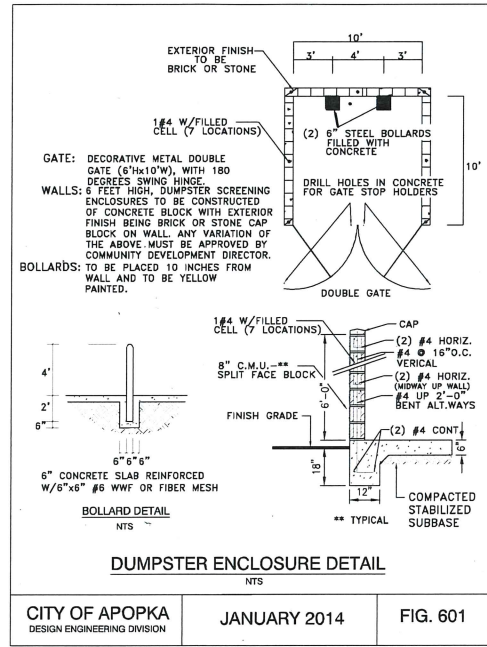
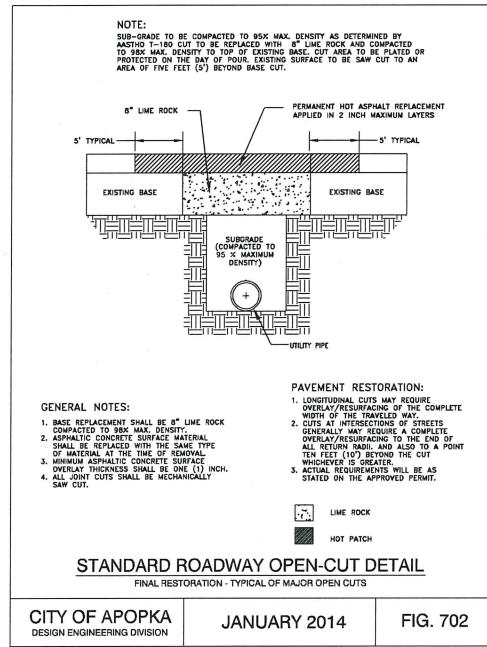
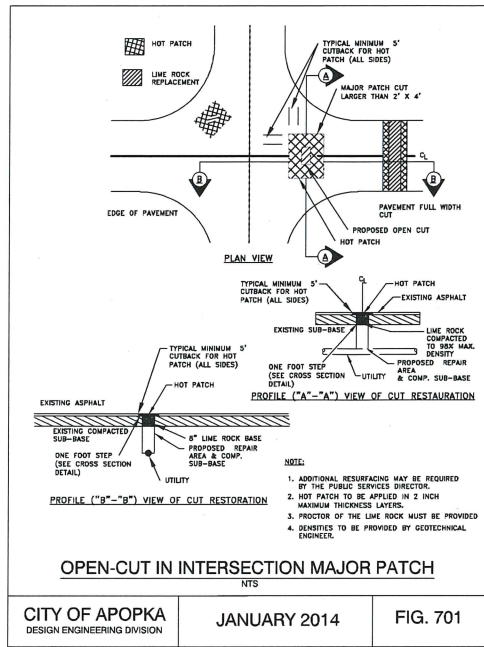
SCALE: 1"=50'
 DATE: 6/01/2015
 DRAWN: AP/MJC
 CHECKED: NCG
 APPROVED: ASC

RUTH PERRY, RLA
 No. LA0001530

gai consultants
 EB 9951
 618 SOUTH ST. SUITE 700
 ORLANDO, FLORIDA 32801
 PHONE: (407) 423-8398

PROJECT NO./DASH NO.
 A120273.03

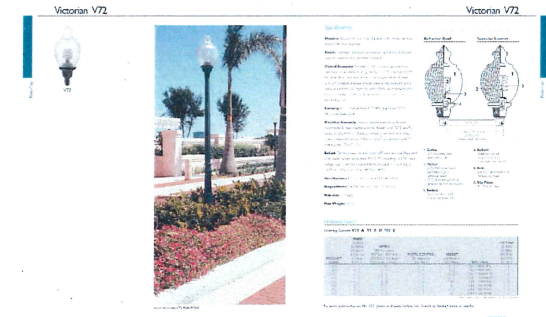
SHEET
HS.02



NO.	DATE	BY	CHKD	APPROV	DESCRIPTION
1	6/18/2015	AP	DMK		REVISED PER CITY COMMENT
2	07/13/2015	AP			REVISED PER IRC COMMENTS DATED 07/10/2015

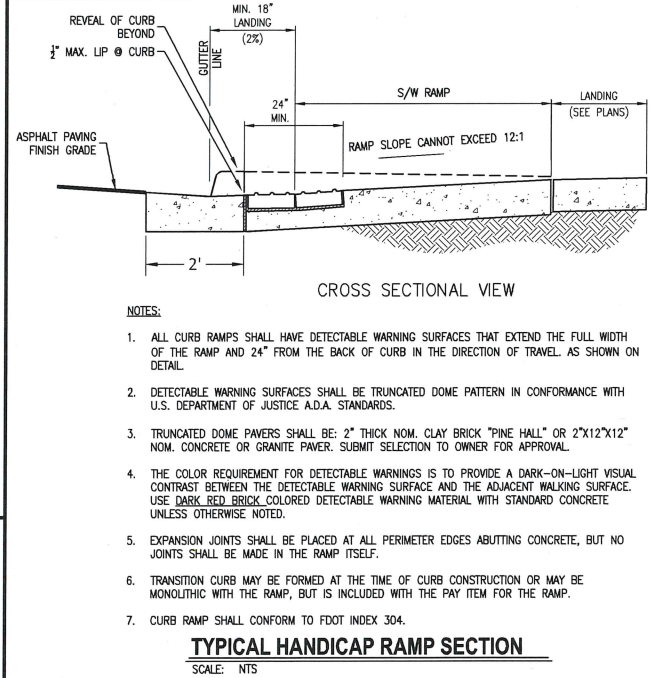
SCALE: N/A
DATE: 6/01/2015
DRAWN: AP/MJC
CHECKED: NCG
APPROVED: ASC

DEVELOPMENT DESIGN STANDARD DETAILS
MARDEN RIDGE APARTMENTS - PHASE 1B
FINAL DEVELOPMENT PLANS
APOPKA, FLORIDA



VICTORIAN V72 LIGHT POLE DETAIL

NOTE:
SEE LIGHTING PLANS FOR DETAILED INFORMATION.



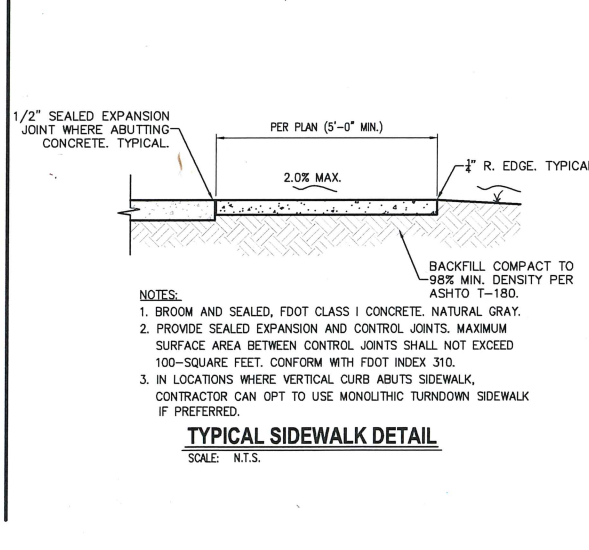
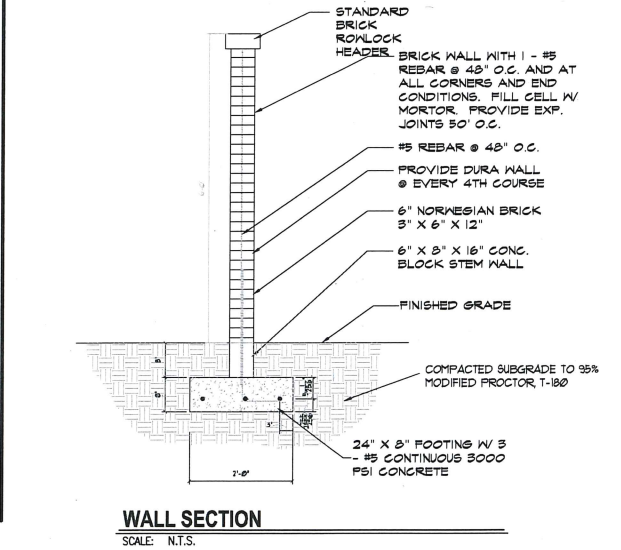
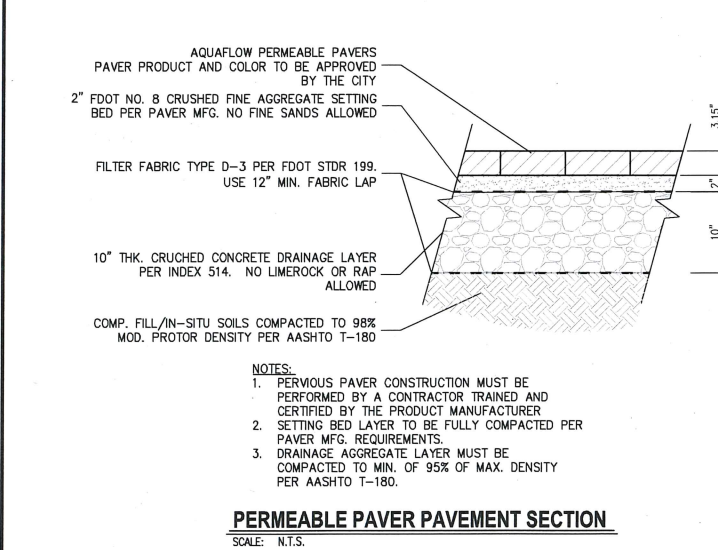
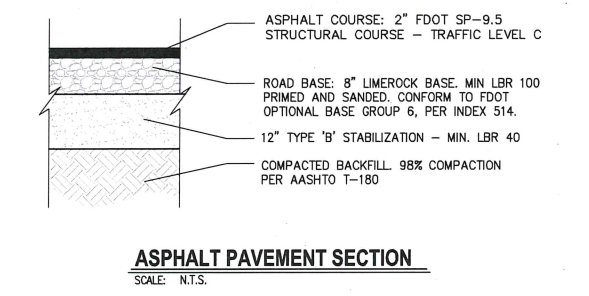
Vert-I-Pack® Self-Contained Compactor OR APPROVED EQUAL
Dimensions and Specifications

Model	Weight (lbs)	Capacity (cu ft)	Power Source	Dimensions (L x W x H)
Model 1	150	1.5	Gasoline	48" x 24" x 48"
Model 2	200	2.0	Gasoline	54" x 30" x 54"
Model 3	250	2.5	Gasoline	60" x 36" x 60"
Model 4	300	3.0	Gasoline	66" x 42" x 66"
Model 5	350	3.5	Gasoline	72" x 48" x 72"
Model 6	400	4.0	Gasoline	78" x 54" x 78"
Model 7	450	4.5	Gasoline	84" x 60" x 84"
Model 8	500	5.0	Gasoline	90" x 66" x 90"
Model 9	550	5.5	Gasoline	96" x 72" x 96"
Model 10	600	6.0	Gasoline	102" x 78" x 102"
Model 11	650	6.5	Gasoline	108" x 84" x 108"
Model 12	700	7.0	Gasoline	114" x 90" x 114"
Model 13	750	7.5	Gasoline	120" x 96" x 120"
Model 14	800	8.0	Gasoline	126" x 102" x 126"
Model 15	850	8.5	Gasoline	132" x 108" x 132"
Model 16	900	9.0	Gasoline	138" x 114" x 138"
Model 17	950	9.5	Gasoline	144" x 120" x 144"
Model 18	1000	10.0	Gasoline	150" x 126" x 150"
Model 19	1050	10.5	Gasoline	156" x 132" x 156"
Model 20	1100	11.0	Gasoline	162" x 138" x 162"
Model 21	1150	11.5	Gasoline	168" x 144" x 168"
Model 22	1200	12.0	Gasoline	174" x 150" x 174"
Model 23	1250	12.5	Gasoline	180" x 156" x 180"
Model 24	1300	13.0	Gasoline	186" x 162" x 186"
Model 25	1350	13.5	Gasoline	192" x 168" x 192"
Model 26	1400	14.0	Gasoline	198" x 174" x 198"
Model 27	1450	14.5	Gasoline	204" x 180" x 204"
Model 28	1500	15.0	Gasoline	210" x 186" x 210"
Model 29	1550	15.5	Gasoline	216" x 192" x 216"
Model 30	1600	16.0	Gasoline	222" x 198" x 222"
Model 31	1650	16.5	Gasoline	228" x 204" x 228"
Model 32	1700	17.0	Gasoline	234" x 210" x 234"
Model 33	1750	17.5	Gasoline	240" x 216" x 240"
Model 34	1800	18.0	Gasoline	246" x 222" x 246"
Model 35	1850	18.5	Gasoline	252" x 228" x 252"
Model 36	1900	19.0	Gasoline	258" x 234" x 258"
Model 37	1950	19.5	Gasoline	264" x 240" x 264"
Model 38	2000	20.0	Gasoline	270" x 246" x 270"
Model 39	2050	20.5	Gasoline	276" x 252" x 276"
Model 40	2100	21.0	Gasoline	282" x 258" x 282"
Model 41	2150	21.5	Gasoline	288" x 264" x 288"
Model 42	2200	22.0	Gasoline	294" x 270" x 294"
Model 43	2250	22.5	Gasoline	300" x 276" x 300"
Model 44	2300	23.0	Gasoline	306" x 282" x 306"
Model 45	2350	23.5	Gasoline	312" x 288" x 312"
Model 46	2400	24.0	Gasoline	318" x 294" x 318"
Model 47	2450	24.5	Gasoline	324" x 300" x 324"
Model 48	2500	25.0	Gasoline	330" x 306" x 330"
Model 49	2550	25.5	Gasoline	336" x 312" x 336"
Model 50	2600	26.0	Gasoline	342" x 318" x 342"
Model 51	2650	26.5	Gasoline	348" x 324" x 348"
Model 52	2700	27.0	Gasoline	354" x 330" x 354"
Model 53	2750	27.5	Gasoline	360" x 336" x 360"
Model 54	2800	28.0	Gasoline	366" x 342" x 366"
Model 55	2850	28.5	Gasoline	372" x 348" x 372"
Model 56	2900	29.0	Gasoline	378" x 354" x 378"
Model 57	2950	29.5	Gasoline	384" x 360" x 384"
Model 58	3000	30.0	Gasoline	390" x 366" x 390"
Model 59	3050	30.5	Gasoline	396" x 372" x 396"
Model 60	3100	31.0	Gasoline	402" x 378" x 402"
Model 61	3150	31.5	Gasoline	408" x 384" x 408"
Model 62	3200	32.0	Gasoline	414" x 390" x 414"
Model 63	3250	32.5	Gasoline	420" x 396" x 420"
Model 64	3300	33.0	Gasoline	426" x 402" x 426"
Model 65	3350	33.5	Gasoline	432" x 408" x 432"
Model 66	3400	34.0	Gasoline	438" x 414" x 438"
Model 67	3450	34.5	Gasoline	444" x 420" x 444"
Model 68	3500	35.0	Gasoline	450" x 426" x 450"
Model 69	3550	35.5	Gasoline	456" x 432" x 456"
Model 70	3600	36.0	Gasoline	462" x 438" x 462"
Model 71	3650	36.5	Gasoline	468" x 444" x 468"
Model 72	3700	37.0	Gasoline	474" x 450" x 474"
Model 73	3750	37.5	Gasoline	480" x 456" x 480"
Model 74	3800	38.0	Gasoline	486" x 462" x 486"
Model 75	3850	38.5	Gasoline	492" x 468" x 492"
Model 76	3900	39.0	Gasoline	498" x 474" x 498"
Model 77	3950	39.5	Gasoline	504" x 480" x 504"
Model 78	4000	40.0	Gasoline	510" x 486" x 510"
Model 79	4050	40.5	Gasoline	516" x 492" x 516"
Model 80	4100	41.0	Gasoline	522" x 498" x 522"
Model 81	4150	41.5	Gasoline	528" x 504" x 528"
Model 82	4200	42.0	Gasoline	534" x 510" x 534"
Model 83	4250	42.5	Gasoline	540" x 516" x 540"
Model 84	4300	43.0	Gasoline	546" x 522" x 546"
Model 85	4350	43.5	Gasoline	552" x 528" x 552"
Model 86	4400	44.0	Gasoline	558" x 534" x 558"
Model 87	4450	44.5	Gasoline	564" x 540" x 564"
Model 88	4500	45.0	Gasoline	570" x 546" x 570"
Model 89	4550	45.5	Gasoline	576" x 552" x 576"
Model 90	4600	46.0	Gasoline	582" x 558" x 582"
Model 91	4650	46.5	Gasoline	588" x 564" x 588"
Model 92	4700	47.0	Gasoline	594" x 570" x 594"
Model 93	4750	47.5	Gasoline	600" x 576" x 600"
Model 94	4800	48.0	Gasoline	606" x 582" x 606"
Model 95	4850	48.5	Gasoline	612" x 588" x 612"
Model 96	4900	49.0	Gasoline	618" x 594" x 618"
Model 97	4950	49.5	Gasoline	624" x 600" x 624"
Model 98	5000	50.0	Gasoline	630" x 606" x 630"
Model 99	5050	50.5	Gasoline	636" x 612" x 636"
Model 100	5100	51.0	Gasoline	642" x 618" x 642"

GREEN BUILT
Also available as Green Built® Working Color and other environmentally friendly components. (Manufacturer's literature is available on our website.)

RAMJET Authorized Dealer

SELF CONTAINED COMPACTOR
NTS



ANTHONY S. CALL, P.E.
No. 67370

gai consultants
EB 9951
618 SOUTH ST. SUITE 700
ORLANDO, FLORIDA 32801
PHONE: (407) 423-8398

PROJECT NO./DASH NO.
A120273.03

SHEET
C7.00

Z:\A120273.03 - Emerson-Wright\CAD\PLAN SET - Final Development Plans\A120273.03 DT.dwg Jul 21, 2015 - 11:55am

Victorian V72



V72



Shown: Victorian V72, Pole P2520.

Victorian V72

Specifications

Housing: 360 die-cast and spun aluminum with removable door and non-ferrous fasteners.

Finish: Thermoset polyester powdercoat, laboratory tested for superior weatherability and fade resistance.

Optical Assembly: Symmetric (T0): U.V. stabilized injection molded clear acrylic textured globe. Type III (T3) and Type V (T5) Refractor Bowl: heat resistant borosilicate glass refractor bowl with U.V. stabilized injection molded clear acrylic textured globe. Specular Louvers (TL): highly polished Alzak® aluminum, internal louver assembly; U.V. stabilized injection molded clear acrylic textured globe.

Lamping: H.I.D. Medium base E17, HPS Mogul base E23.5, MH Mogul base ED28.

Electrical Assembly: Twistlock ballast assembly with quick disconnects for easy maintenance (for fixtures with T3, T5 and TL optics, or 250W H.I.D.). Ballast assembly is mounted to a plate, which is mounted on top of the ballast pod (for fixtures with T0 optics up to 175W H.I.D.).

Ballast: Factory pre-wired and tested, HPF core and coil. Regulated with power factors better than 90% (-HPF), providing +/-10% input voltage regulation. Metal halide ballasts are capable of starting at -20°F or -30°C and HPS at -40°F or -40°C.

Certifications: ETL and cETL Listed, ISO 9001:2008.

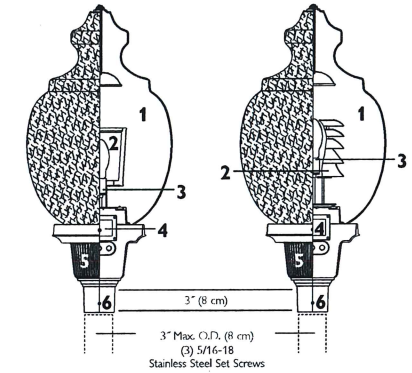
Height/Width: 34 7/8" (89 cm) x 16 1/2" (42 cm)

Max. epa: 1.17 sq. ft.

Max. Weight: 32 lbs.

Refractor Bowl

Specular Louvers



1. Globe: U.V. stabilized clear textured acrylic

2. Optics: (V72 Refractor Bowl) Borosilicate glass refractor bowl (V72 Specular Louvers) Specular aluminum louvers

3. Sockets: Porcelain 4kv rated (Lamp not included)

4. Ballast: Twistlock ballast assembly, factory pre-wired and tested

5. Pod: Die-cast aluminum with removable door

6. Slip Fitter: 3" I.D. x 3" deep

Ordering Guide

Ordering Example: **V72 A T0 B D 70S E**

PRODUCT CODE	FINISH		OPTICS		PHOTO CONTROL	SOCKET	WATTAGE	VOLTAGE
	(A) Black	(B) White	(T0) Symmetric	(T3) Type III Refr. Bowl				
V72	()	()	()	()	()	()	70S = 70W HPS	()
V72	()	()	()	()	()	()	70S = 70W HPS	()
V72	()	()	()	()	()	()	100S = 100W HPS	()
V72	()	()	()	()	()	()	150S = 150W HPS	()
V72	()	()	()	()	()	()	70H = 70W MH	()
V72	()	()	()	()	()	()	100H = 100W MH	()
V72	()	()	()	()	()	()	150H = 150W MH	()
V72	()	()	()	()	()	()	250H = 250W MH	()

* (T...) optics available with Medium base (D) socket only.

For more information on the V72, please visit www.hadco.com. Search by product name or number.

